



## Addendum #02

**OWNER:** Grand Rapids Public Schools

**PROJECT:** Coit Arts Academy – Phase 2 Summer 2025 Work  
617 Coit Ave NE  
Grand Rapids, MI 49506

**DESIGN PROFESSIONAL:** C2AE  
Project #23062

**CONSTRUCTION MANAGER:** Triangle Associates, Inc.

**Addendum No.** 02

**Date Issued:** 09/23/2024

**Drawings Issued:** G-001.2, C-101.2, C-102.2, C-103.2, C-501.2, L-100.2, L-500.2, A-002.2, A-101B.2, A-301.2, A-601.2

**Specifications Issued:** 012300 – Alternates, 081416 – Flush Wood Doors,  
098433 – Sound-Absorbing Wall Units, 142400 – Hydraulic Elevators

**Documents Issued:** C2AE Addendum #2 Narrative & Drawings

**Revisions to work scopes:**

**WC 061 - General Trades:**

**24** *Include solid fencing as shown on #8/C-501.2 (Add. 2)*

**WC 310 – Sitework:**

**31** *Include Landscaping as shown on added sheets L.100.2, L-500.2. (Add. 2)*

**32** *Base bid should be the revised asphalt removal as shown in Addendum 2 (by WC 310). Remove all asphalt assume that existing aggregate base is adequate. (Add. 2)*

**33** *Alternate 7 is an asphalt mill and replace (by WC 321) as shown on original bid documents. (Add. 02)*

**34** *Alternate 8 is remove and replace 8' of aggregate base as may be required by detail #1/C-501.2. (Add. 2)*

**WC 321 – Asphalt Paving:**

**7** *Include Alternate 7 pricing to mill and replace asphalt as originally shown on the drawings: Note 2 on C-101.2 and 3/C1-3.2 cold mill and replace 1.5: of existing HMA. (Add.02)*

All bidders are to incorporate these revisions into their proposals and to acknowledge receipt of this addendum where requested on the Proposal Form. Bidders are reminded that verbal clarifications or revisions from the C2AE or Construction Manager are non-binding and that only published addenda shall be honored.

RESPECTFULLY SUBMITTED:  
**TRIANGLE ASSOCIATES, INC.**



## Addendum # 2

Project No.:	23-0458	Date:	September 23, 2024
Project:	Coit Creative Arts Academy Bid Package #2 Grand Rapids Public Schools Kent County, Michigan	A/E Firm:	C2AE
		Project Manager:	Steve Jurczuk
Owner:	Grand Rapids Public Schools 1331 M.L.K. Jr. St SE Grand Rapids, MI 49506		

---

The following changes, revisions, modifications, etc. shall be incorporated into the contract documents, specifications, and plans.

---

### BID FORM

A2.1 The Bidder shall acknowledge receipt of Addenda #2 by indicating so in the spaces provided on the Bid Form.

### SPECIFICATIONS

- A2.2 012300 – Alternates (reissued):  
Refer to Alternate No. 3 Elevator Door Monitoring System, paragraph 3.1.C.
- A2.3 081416 – Flush Wood Doors (reissued):  
Refer to subparagraph 2.4.A.1. Add additional manufacturers.
- A2.4 098433 – Sound-Absorbing Wall Units (reissued):  
Refer to subparagraph 2.3.B.11.
- A2.5 101423 – Panel Signage (not reissued):  
Delete Specification Section in its entirety.
- A2.6 142400 – Hydraulic Elevators (reissued):  
Refer to Part 2 – Products.

### DRAWINGS

- A2.7 Refer to Sheet G-001.2 (reissued):  
Revise Alternate Bid #3 description. Add new sheets.

- A2.8 Refer to Sheet C-101.2 (reissued):  
Add limited removal of existing chain-link fence and concrete curb. Add removal of concrete steps and entrance slab. Add salvage of existing reserved parking signs. Revise HMA removal to include full depth of existing asphalt material.
- A2.9 Refer to Sheet C-102.2 (reissued):  
Revise HMA section to be Heavy-Duty asphalt. Revise parking layout. Add privacy fence. Add reserved parking signs.
- A2.10 Refer to Sheet C-103.2 (reissued):  
Add grading to create accessible slopes in ADA parking area.
- A2.11 Refer to Sheet C-501.2 (reissued):  
Revise pavement section to reflect Heavy-Duty asphalt, add privacy fence and ADA parking sign details.
- A2.12 Refer to Sheet L-100.2 (issued):  
Issue new sheet in its entirety. Add mulch areas, tree trimming, soil amendment, and planting of trees, shrubs, and grasses.
- A2.13 Refer to Sheet L-500.2 (issued):  
Issue new sheet in its entirety. Add details for installation and containment of plants.
- A2.14 Refer to Sheet A-002.2 (reissued):  
Add notes for wall reinforcing and connection to existing structure to the typical masonry partition type details.
- A2.15 Refer to Sheet A-101B.2 (reissued):  
Revise Keynote A5.2 to read, "8" CMU WALL WITH SOLID CMU CAP. INTERIOR OF CHILLER WALLS TO BE LINED WITH ACOUSTIC PANELING (SEE ALTERNATES)."
- A2.16 Refer to Sheet A-301.2 (reissued):  
Add dampproofing to wall sections and elevations at Chiller 001 Enclosure. Add Dumpster Enclosure Gate detail. Add TYP Dumpster Gate Hinge detail.
- A2.17 Refer to Sheet A-601.2 (reissued):  
Revise door hardware set numbers.

## SECTION 01 2300 - ALTERNATES

### PART 1 - GENERAL

#### 1.1 SUMMARY

- A. Section includes administrative and procedural requirements for alternates.

#### 1.2 DEFINITIONS

- A. Alternate: An amount proposed by bidders and stated on the Bid Form for certain work defined in the bidding requirements that may be added to or deducted from the base bid amount if the Owner decides to accept a corresponding change either in the amount of construction to be completed or in the products, materials, equipment, systems, or installation methods described in the Contract Documents.
  - 1. Alternates described in this Section are part of the Work only if enumerated in the Agreement.
  - 2. The cost or credit for each alternate is the net addition to or deduction from the Contract Sum to incorporate alternates into the Work. No other adjustments are made to the Contract Sum.

#### 1.3 PROCEDURES

- A. Coordination: Revise or adjust affected adjacent work as necessary to completely integrate work of the alternate into Project.
  - 1. Include, as part of each alternate, miscellaneous devices, accessory objects, and similar items incidental to or required for a complete installation, whether or not indicated as part of alternate.
- B. Execute accepted alternates under the same conditions as other Work of the Contract.
- C. Schedule: A Part 3 "Schedule of Alternates" Article is included at the end of this Section. Specification Sections referenced in schedule contain requirements for materials necessary to achieve the work described under each alternate.

### PART 2 - PRODUCTS (Not Used)

### PART 3 - EXECUTION

#### 3.1 SCHEDULE OF ALTERNATES

- A. Alternate No. 01: Roof Mounted Exhaust Fan Replacement.
  - 1. Base Bid: No roof mounted exhaust fans.
  - 2. Alternate: Remove and replace roof mounted exhaust fan as indicated on Drawings A-103.2, M-103.2, M-601.2, EP100.2, AP102.2, EP701.2 and as specified in Section 233400 "HVAC Fans."
- B. Alternate No. 02: Powered Relief Hood Replacement
  - 1. Base Bid: Remove and replace (4) relief hood motors, control dampers and actuators, and provide (4) new variable frequency drives as indicated on Drawing A-103.2, M-103.2, M-601.2, EP100.2, EP701.2 and as specified in Section 233400 "HVAC Fans."

2. Alternate: Remove and replace (4) powered relief hoods and provide (4) new variable frequency drives as indicated on Drawing A-103.2, M-103.2, M-601.2, EP100.2, EP701.2 and as specified in Section 233400 "HVAC Fans."
- C. Alternate No. 03: Elevator Door Monitoring System (ADM2)
1. Base Bid: ~~No elevator door monitoring system.~~ *Existing elevator door monitoring system to remain.*
  2. Alternate: *Remove existing door monitoring system and provide elevator door monitoring system, including programming as indicated on Drawing A-101A.2 and as specified in Section 142400 "Hydraulic Elevators".*
- D. Alternate No. 04: Exterior Acoustical Wall Panels
1. Base Bid: No exterior sound absorbing wall panels.
  2. Alternate: Install exterior sound absorbing wall panels on walls of Chiller enclosure as indicated on Drawings A-101B.2, A-301.2 and as specified in Section 098433 "Sound-Absorbing Wall Units".
- E. Alternate No. 05: Theatrical Lighting and Rigging
1. Base Bid: No theatrical lighting, rigging, or curtains.
  2. Alternate: Install theatrical lighting, rigging and curtains in Gymnasium-112 as indicated on Drawings A-111A.2, A-401.2, A-402.2, EL101A.2, EP101A.2, EP701.2 and as specified in Sections 116163 "Stage Rigging and Drapery" and 260961 "Theatrical Lighting Control System".
- F. Alternate No. 06: Gymnasium Wall Pads
1. Base Bid: No wall safety pads.
  2. Alternate: Provide wall safety pads as indicated on Drawings A-101A.2, A-401.2, A-402.2 and as specified in Section 116623 "Gymnasium Equipment".

**END OF SECTION 01 2300**

**SECTION 08 1416 - FLUSH WOOD DOORS****PART 1 - GENERAL****1.1 SUMMARY**

- A. Section Includes:
  - 1. Solid-core five-ply flush wood veneer-faced doors and transom panels for transparent finish.
  - 2. Light frames.
- B. Related Requirements:
  - 1. Section 088000 "Glazing" for glass view panels in flush wood doors.
  - 2. Section 087100 "Door Hardware" for door hardware for wood doors.

**1.2 ACTION SUBMITTALS**

- A. Product Data Submittals: For each product, including the following:
  - 1. Door core materials and construction.
  - 2. Door edge construction
  - 3. Door face type and characteristics.
  - 4. Factory-machining criteria.
  - 5. Factory-finishing specifications.
- B. Sustainable Design Submittals:
  - 1. Product Data: For adhesives, indicating that product contains no urea formaldehyde.
  - 2. Product Data: For composite wood products, indicating that product contains no urea formaldehyde.
- C. Shop Drawings: Indicate location, size, and hand of each door; elevation of each type of door; construction details not covered in Product Data; and the following:
  - 1. Door schedule indicating door and frame location, type, size, fire protection rating, and swing.
  - 2. Door elevations, dimension and locations of hardware, lite and louver cutouts, and glazing thicknesses.
  - 3. Dimensions and locations of blocking for hardware attachment.
  - 4. Dimensions and locations of mortises and holes for hardware.
  - 5. Clearances and undercuts.
  - 6. Requirements for veneer matching.
  - 7. Doors to be factory finished and application requirements.
  - 8. Apply AWI Quality Certification Program label to Shop Drawings.
- D. Samples for Initial Selection: For factory-finished doors.

**1.3 INFORMATIONAL SUBMITTALS**

- A. Qualification Data: For door inspector.
  - 1. Fire-Rated Door Inspector: Submit documentation of compliance with NFPA 80, Section 5.2.3.1.

2. Egress Door Inspector: Submit documentation of compliance with NFPA 101, Section 7.2.1.15.4.

- B. Sample Warranty: For special warranty.

## 1.4 CLOSEOUT SUBMITTALS

- A. Special warranties.
- B. Quality Standard Compliance Certificates: AWI Quality Certification Program certificates.
- C. Record Documents: For fire-rated doors, list of door numbers and applicable room name and number to which door accesses.

## 1.5 QUALITY ASSURANCE

- A. Manufacturer's Certification: Licensed participant in AWI's Quality Certification Program.
- B. Fire-Rated Door Inspector Qualifications: Inspector for field quality-control inspections of fire-rated door assemblies complies with qualifications set forth in NFPA 80, Section 5.2.3.1 and the following:
- C. Egress Door Inspector Qualifications: Inspector for field quality-control inspections of egress door assemblies complies with qualifications set forth in NFPA 101, Section 7.2.1.15.4 and the following:

## 1.6 DELIVERY, STORAGE, AND HANDLING

- A. Comply with requirements of referenced standard and manufacturer's written instructions.
- B. Package doors individually in cardboard cartons, and wrap bundles of doors in plastic sheeting.
- C. Mark each door on top and bottom rail with opening number used on Shop Drawings.

## 1.7 FIELD CONDITIONS

- A. Environmental Limitations:
  1. Do not deliver or install doors until spaces are enclosed and weathertight, wet-work in spaces is complete and dry, and HVAC system is operating and maintaining temperature and relative humidity at levels designed for building occupants for the remainder of construction period.
  2. Do not deliver or install doors until building is enclosed and weathertight, wet work is complete, and HVAC system is operating and maintaining temperature between 60 and 90 deg F and relative humidity between 25 and 55 percent during remainder of construction period.

## 1.8 WARRANTY

- A. Special Warranty: Manufacturer agrees to repair or replace doors that fail in materials or workmanship within specified warranty period.
  1. Failures include, but are not limited to, the following:
    - a. Delamination of veneer.

- b. Warping (bow, cup, or twist) more than 1/4 inch in a 42-by-84-inch section.
  - c. Telegraphing of core construction in face veneers exceeding 0.01 inch in a 3-inch span.
- 2. Warranty also includes installation and finishing that may be required due to repair or replacement of defective doors.
  - 3. Warranty Period for Solid-Core Interior Doors: Life of installation.

## **PART 2 - PRODUCTS**

### **2.1 SOURCE LIMITATIONS**

- A. Obtain flush wood doors from single manufacturer.

### **2.2 PERFORMANCE REQUIREMENTS**

- A. Fire-Rated Wood Door and Frame Assemblies: Assemblies complying with NFPA 80 that are listed and labeled by a qualified testing agency acceptable to authorities having jurisdiction, for fire-protection ratings indicated on Drawings, based on testing at positive pressure in accordance with UL 10C.
- B. Smoke- and Draft-Control Door Assemblies: Listed and labeled for smoke and draft control by a qualified testing agency acceptable to authorities having jurisdiction, based on testing in accordance with UL 1784 and installed in compliance with NFPA 105.

### **2.3 FLUSH WOOD DOORS AND FRAMES, GENERAL**

- A. Quality Standard: In addition to requirements specified, comply with ANSI/WDMA I.S. 1A.
  - 1. Provide labels and certificates from AWI certification program indicating that doors comply with requirements of grades specified.
- B. Adhesives: Do not use adhesives that contain urea formaldehyde.
- C. Composite Wood Products: Products shall be made without urea formaldehyde.

### **2.4 SOLID-CORE FIVE-PLY FLUSH WOOD VENEER-FACED DOORS AND TRANSOM PANELS FOR TRANSPARENT FINISH**

- A. Interior Doors, Solid-Core Five-Ply Veneer-Faced:
  - 1. Manufacturers: Subject to compliance with requirements, provide products by one of the following:
    - a. *Lambton Doors* (ADM2)
    - b. *Lynden Door, Inc.* (ADM2)
    - c. *Masonite Architectural* (ADM2)
    - d. *Oregon Door*
    - e. *Oshkosh Door Company* (ADM2)
    - f. *VT Industries, Inc.* (ADM2)
    - g. *McKinney Door Solutions*
  - 2. Performance Grade: ANSI/WDMA I.S. 1A Extra Heavy Duty.
  - 3. ANSI/WDMA I.S. 1A Quality Grade: Premium.
  - 4. Faces: Single-ply wood veneer not less than 1/50 inch thick.
    - a. Species: Match Existing.



- b. Cut: Plain sliced (flat sliced).
  - c. Match between Veneer Leaves: Book match.
  - d. Assembly of Veneer Leaves on Door Faces: Center-balance match.
  - e. Room Match:
    - 1) Match door faces within each separate room or area of building. Corridor-door faces do not need to match where they are separated by 20 feet or more.
    - 2) Provide door faces of compatible color and grain within each separate room or area of building.
5. Exposed Vertical and Top Edges: Same species as faces - Architectural Woodwork Standards edge Type A.
- a. Fire-Rated Single Doors: Provide edge construction with intumescent seals concealed by outer stile. Comply with specified requirements for exposed vertical edges.
  - b. Mineral-Core Doors: At hinge stiles, provide laminated-edge construction with improved screw-holding capability and split resistance. Comply with specified requirements for exposed edges.
    - 1) Screw-Holding Capability: 550 lbf in accordance with WDMA T.M. 10.
6. Core for Non-Fire-Rated Doors:
- a. WDMA I.S. 10 structural composite lumber.
    - 1) Screw Withdrawal, Door Face: 550 lbf.
    - 2) Screw Withdrawal, Vertical Door Edge: 550 lbf.
7. Core for Fire-Rated Doors: As required to achieve fire-protection rating indicated on Drawings.
- a. Blocking for Mineral-Core Doors: Provide composite blocking with improved screw-holding capability approved for use in doors of fire-protection ratings indicated on Drawings as needed to eliminate through-bolting hardware.
    - 1) 5-inch top-rail blocking.
    - 2) 5-inch bottom-rail blocking, in doors indicated to have protection plates.
    - 3) 5-inch midrail blocking, in doors indicated to have exit devices.
8. Construction: Five plies, hot-pressed bonded (vertical and horizontal edging is bonded to core), with entire unit abrasive planed before veneering.

## 2.5 LIGHT FRAMES AND LOUVERS

- A. Wood Beads for Light Openings in Wood Doors: Provide manufacturer's standard wood beads unless otherwise indicated.
  - 1. Wood Species: Same species as door faces.
  - 2. Profile: Manufacturer's standard shape.
  - 3. At wood-core doors with 20-minute fire-protection ratings, provide wood beads and metal glazing clips approved for such use.

- B. Metal Frames for Light Openings in Fire-Rated Doors: Manufacturer's standard frame formed of 0.048-inch- thick, cold-rolled steel sheet; with baked-enamel- or powder-coated finish; and approved for use in doors of fire-protection rating indicated on Drawings.

## 2.6 FABRICATION

- A. Factory fit doors to suit frame-opening sizes indicated.
  - 1. Comply with clearance requirements of referenced quality standard for fitting unless otherwise indicated.
  - 2. Comply with NFPA 80 requirements for fire-rated doors.
- B. Factory machine doors for hardware that is not surface applied.
  - 1. Locate hardware to comply with DHI-WDHS-3.
  - 2. Comply with final hardware schedules, door frame Shop Drawings, ANSI/BHMA-156.115-W, and hardware templates.
  - 3. Coordinate with hardware mortises in metal frames, to verify dimensions and alignment before factory machining.
  - 4. For doors scheduled to receive electrified locksets, provide factory-installed raceway and wiring to accommodate specified hardware.
- C. Openings: Factory cut and trim openings through doors.
  - 1. Light Openings: Trim openings with moldings of material and profile indicated.
  - 2. Glazing: Factory install glazing in doors indicated to be factory finished. Comply with applicable requirements in Section 088000 "Glazing."

## 2.7 FACTORY FINISHING

- A. Comply with referenced quality standard for factory finishing.
  - 1. Complete fabrication, including fitting doors for openings and machining for hardware that is not surface applied, before finishing.
  - 2. Finish faces, all four edges, edges of cutouts, and mortises.
  - 3. Stains and fillers may be omitted on top and bottom edges, edges of cutouts, and mortises.
- B. Factory finish doors.
- C. Transparent Finish:
  - 1. ANSI/WDMA I.S. 1A Grade: Premium.
    - a. TR-8 UV Cured Acrylated Polyester/Urethane.
  - 2. Staining: As selected by Architect from manufacturer's full range.
  - 3. Sheen: Satin.

## PART 3 - EXECUTION

### 3.1 EXAMINATION

- A. Examine doors and installed door frames, with Installer present, before hanging doors.
  - 1. Verify that installed frames comply with indicated requirements for type, size, location, and swing characteristics and have been installed with level heads and plumb jambs.

2. Reject doors with defects.

B. Proceed with installation only after unsatisfactory conditions have been corrected.

### 3.2 INSTALLATION

A. Hardware: For installation, see Section 087100 "Door Hardware."

B. Install doors to comply with manufacturer's written instructions and referenced quality standard, and as indicated.

C. Factory-Fitted Doors: Align in frames for uniform clearance at each edge.

D. Factory-Finished Doors: Restore finish before installation if fitting or machining is required at Project site.

### 3.3 FIELD QUALITY CONTROL

A. Inspection Agency: Owner will engage a qualified inspector to perform inspections and to furnish reports to Architect.

B. Inspections:

1. Fire-Rated Door Inspections: Inspect each fire-rated door in accordance with NFPA 80, Section 5.2.

2. Egress Door Inspections: Inspect each door equipped with panic hardware, each door equipped with fire exit hardware, each door located in an exit enclosure, each electrically controlled egress door, and each door equipped with special locking arrangements in accordance with NFPA 101, Section 7.2.1.15.

C. Repair or remove and replace installations where inspections indicate that they do not comply with specified requirements.

D. Reinspect repaired or replaced installations to determine if replaced or repaired door assembly installations comply with specified requirements.

### 3.4 ADJUSTING

A. Operation: Rehang or replace doors that do not swing or operate freely.

B. Finished Doors: Replace doors that are damaged or that do not comply with requirements. Doors may be repaired or refinished if Work complies with requirements and shows no evidence of repair or refinishing.

**END OF SECTION 08 1416**

**SECTION 09 8433 - SOUND-ABSORBING WALL UNITS****PART 1 - GENERAL****1.1 SUMMARY**

- A. Section Includes:
  - 1. Sound-absorbing wall panels.
  - 2. Exterior sound-absorbing wall panels.

**1.2 DEFINITIONS**

- A. NRC: Noise Reduction Coefficient.

**1.3 ACTION SUBMITTALS**

- A. Product Data: For each type of product.
  - 1. Include fabric facing, panel edge, core material, and mounting indicated.
- B. Shop Drawings: For unit assembly and installation.
- C. Samples for Initial Selection: For each type of fabric facing.
  - 1. Include Samples of hardware and accessories involving color or finish selection.

**1.4 CLOSEOUT SUBMITTALS**

- A. Maintenance Data: For each type of unit to include in maintenance manuals. Include fabric manufacturers' written cleaning and stain-removal instructions.

**1.5 DELIVERY, STORAGE, AND HANDLING**

- A. Comply with fabric and unit manufacturers' written instructions for minimum and maximum temperature and humidity requirements for shipment, storage, and handling.
- B. Deliver materials and units in unopened bundles and store in a temperature-controlled dry place with adequate air circulation.

**1.6 WARRANTY**

- A. Special Warranty: Manufacturer agrees to repair or replace units and components that fail in materials or workmanship within specified warranty period.
  - 1. Failures include, but are not limited to the following:
    - a. Acoustical performance.
    - b. Fabric sagging, distorting, or releasing from panel edge.
    - c. Warping of core.
  - 2. Warranty Period: Two years from date of Substantial Completion.

**PART 2 - PRODUCTS****2.1 SOURCE LIMITATIONS**

- A. Obtain wall units specified in this Section from single source from single manufacturer, for each type of unit.

**2.2 PERFORMANCE REQUIREMENTS**

- A. Fire-Test-Response Characteristics: Units to comply with "Surface-Burning Characteristics" or "Fire Growth Contribution" Subparagraph below, or both, as determined by testing identical products by UL or another testing and inspecting agency acceptable to authorities having jurisdiction:
1. Surface-Burning Characteristics: Comply with ASTM E84 or UL 723; testing by a qualified testing agency. Identify products with appropriate markings of applicable testing agency.
    - a. Flame-Spread Index: 25 or less.
    - b. Smoke-Developed Index: 450 or less.

**2.3 SOUND-ABSORBING WALL UNITS**

- A. Sound-Absorbing Wall Panels: Manufacturer's standard panel construction..
1. Basis-of-Design Product: Subject to compliance with requirements, provide Armstrong World Industries; Tectum Direct-Attach Walls (AWP-1), or approved comparable product by one of the following :
    - a. G&S Acoustics
    - b. Kinetics Noise Control, Inc
    - c. Sound Concepts
    - d. Wenger Corporation
  2. Panel Shape: As indicated on Drawings.
  3. Mounting:
    - a. Back mounted using manufacturer's standard C-40 mounting type.
  4. Edge Profile: .
    - a. Long edges: Chamfered (beveled).
    - b. Short edges: Square.
  5. Corner Detail in Elevation: Square with continuous edge profile indicated.
  6. Acoustical Performance: Sound absorption NRC of not less than 0.90 in accordance with ASTM C423 for Type A modified mounting in accordance with ASTM E795.
  7. Nominal Overall Panel Thickness: 2 inches.
  8. Panel Width: 24 inches.
  9. Panel Height: 120 inches.
- B. Exterior Sound-Absorbing Wall Panels: Manufacturer's standard panel construction consisting of facing material stretched over front face of edge-framed core and bonded or attached to edges and back of frame.
1. Basis-of-Design Product: Subject to compliance with requirements, provide MBI Products Company, Inc.; MBI Cloud-Lite, weather resistant baffles (AWP-2), or approved comparable product by one of the following :
    - a. Sound Seal
    - b. Soundproof Warehouse
  2. Panel Shape: As indicated on Drawings.
  3. Mounting:

- a. Back mounted using manufacturer's standard stiffener/gripper mounting type, secured to wood blocking.
- 4. Core: Manufacturer's standard 1.65# fiberglass..
  - a. Core-Face Layer: Manufacturer's standard PVC film.
- 5. Edge Construction: Manufacturer's standard Sewn.
- 6. Corner Detail in Elevation: Square .
- 7. Facing Color: As selected by Architect from manufacturer's full range.
- 8. Acoustical Performance: Sound absorption NRC of not less than 0.95 in accordance with ASTM C423 for Type A mounting in accordance with ASTM E795.
- 9. Nominal Overall Panel Thickness: 2 inches.
- 10. Panel Width: 24 inches.
- 11. Panel Height: ~~96 inches~~ *As indicated on Drawings. (ADM2)*

## 2.4 FABRICATION

- A. Standard Construction: Use manufacturer's standard construction unless otherwise indicated; with facing material applied to face, edges, and back border of dimensionally stable core; and with rigid edges to reinforce panel perimeter against warpage and damage.
- B. Dimensional Tolerances of Finished Units: Plus or minus 1/16 inch for the following:
  - 1. Thickness.
  - 2. Edge straightness.
  - 3. Overall length and width.
  - 4. Squareness from corner to corner.

## PART 3 - EXECUTION

### 3.1 EXAMINATION

- A. Examine fabric, fabricated units, substrates, areas, and conditions for compliance with requirements, installation tolerances, and other conditions affecting unit performance.
- B. Proceed with installation only after unsatisfactory conditions have been corrected.

### 3.2 INSTALLATION

- A. Install units in locations indicated. Unless otherwise indicated, install units with vertical surfaces and edges plumb, top edges level and in alignment with other units, faces flush, and scribed to fit adjoining work accurately at borders and at penetrations.
- B. Comply with manufacturer's written instructions for installation of units using type of mounting devices indicated. Mount units securely to supporting substrate.
- C. Align fabric pattern and grain with adjacent units.

### 3.3 INSTALLATION TOLERANCES

- A. Variation from Plumb and Level: Plus or minus 1/16 inch in 48 inches, noncumulative.
- B. Variation of Joint Width: Not more than 1/16-inch variation from hairline in 48 inches, noncumulative.

## 3.4 CLEANING

- A. Clip loose threads; remove pills and extraneous materials.
- B. Clean panels on completion of installation to remove dust and other foreign materials in accordance with manufacturer's written instructions.

**END OF SECTION 09 8433**

**SECTION 14 2400 - HYDRAULIC ELEVATORS****PART 1 - GENERAL****1.1 SUMMARY**

- A. Section Includes: Select modernization of existing Hydraulic elevator.
  - 1. Door lock monitoring system.
  - 2. ADA phone.
  - 3. Infrared array door detector.

**1.2 DEFINITIONS**

- A. Definitions in ASME A17.1/CSA B44 apply to work of this Section.

**1.3 ACTION SUBMITTALS**

- A. Product Data: For each type of product.
- B. Shop Drawings:
  - 1. Include plans, elevations, large-scale details, and wiring diagrams..

**1.4 INFORMATIONAL SUBMITTALS**

- A. Qualification Data: For Installer.

**1.5 CLOSEOUT SUBMITTALS**

- A. Operation and Maintenance Data: For new elevators features to include in emergency, operation, and maintenance manuals.
  - 1. Submit manufacturer's/installer's standard operation and maintenance manual, in accordance with ASME A17.1/CSA B44 including diagnostic and repair information available to manufacturer's and Installer's maintenance personnel.
- B. Inspection and Acceptance Certificates and Operating Permits: As required by authorities having jurisdiction for normal, unrestricted elevator use.
- C. Continuing Maintenance Proposal:
  - 1. Submit a continuing maintenance proposal from Installer to Owner, in the form of a standard two-year maintenance agreement, starting on date initial maintenance service is concluded. State services, obligations, conditions, and terms for agreement period and for future renewal options.
  - 2. Submit a continuing maintenance proposal from Installer to Owner with terms, conditions, and obligations as set forth in, and in same form as, "Draft of Elevator Maintenance Agreement" at end of this Section, starting on date initial maintenance service is concluded.

**1.6 QUALITY ASSURANCE**

- A. Installer Qualifications: Elevator manufacturer representative or a service contractor trained and certified to perform the included work scope. .



**PART 2 - PRODUCTS****2.1 ~~HYDRAULIC ELEVATORS~~ (ADM2)****2.1 PERFORMANCE REQUIREMENTS**

- A. Regulatory Requirements: Comply with ASME A17.1/CSA B44.
- B. Accessibility Standard: Comply with applicable provisions in ICC A117.1.

**2.2 ELEVATORS**

- A. Elevator System, General: Existing hydraulic elevator system.

**2.3 DOOR-REOPENING DEVICES**

- A. Infrared Array Door Detector:
  - 1. Provide infrared door detector including, including ~~with~~ **all** materials and accessories necessary to provide a ~~full~~ **fully** functioning system. **(ADM2)**
    - a. Include removal of existing door detector.

**2.4 SIGNAL EQUIPMENT**

- A. Door Lock Monitoring ~~System~~ **System**: **(ADM2)**
  - 1. Provide a system to monitor the position of power-operated car doors that meets the requirements of ASME A17.3.
    - a. Include all programming required for system integration with existing elevator. controls system.
- B. ADA Phone:
  - 1. Provide ADA emergency phone and program for operation.

**PART 3 - EXECUTION****3.1 EXAMINATION**

- A. Examine elevator areas, with Installer present, for compliance with requirements for installation of equipment and systems included in this specification.
- B. Prepare written report, endorsed by Installer, listing conditions detrimental to performance of the Work.
- C. Proceed with installation only after unsatisfactory conditions have been corrected.

**3.2 FIELD QUALITY CONTROL**

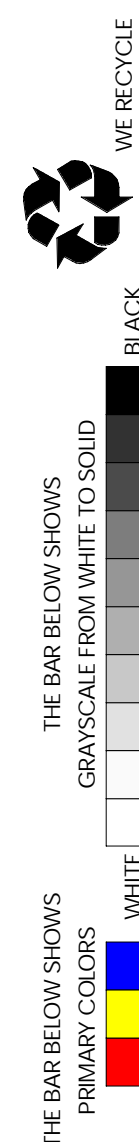
- A. Advise Owner, Architect, and authorities having jurisdiction in advance of dates and times that tests are to be performed on elevators.

**3.3 DEMONSTRATION**

- A. Engage a factory-authorized service representative to train Owner's maintenance personnel to operate, adjust, and maintain elevator components included in this specification.

**END OF SECTION 14 2400**





# BID PACKAGE #2

# GRAND RAPIDS PUBLIC SCHOOLS

## COIT CREATIVE ARTS ACADEMY

### 617 COIT AVE., GRAND RAPIDS, MI 49503

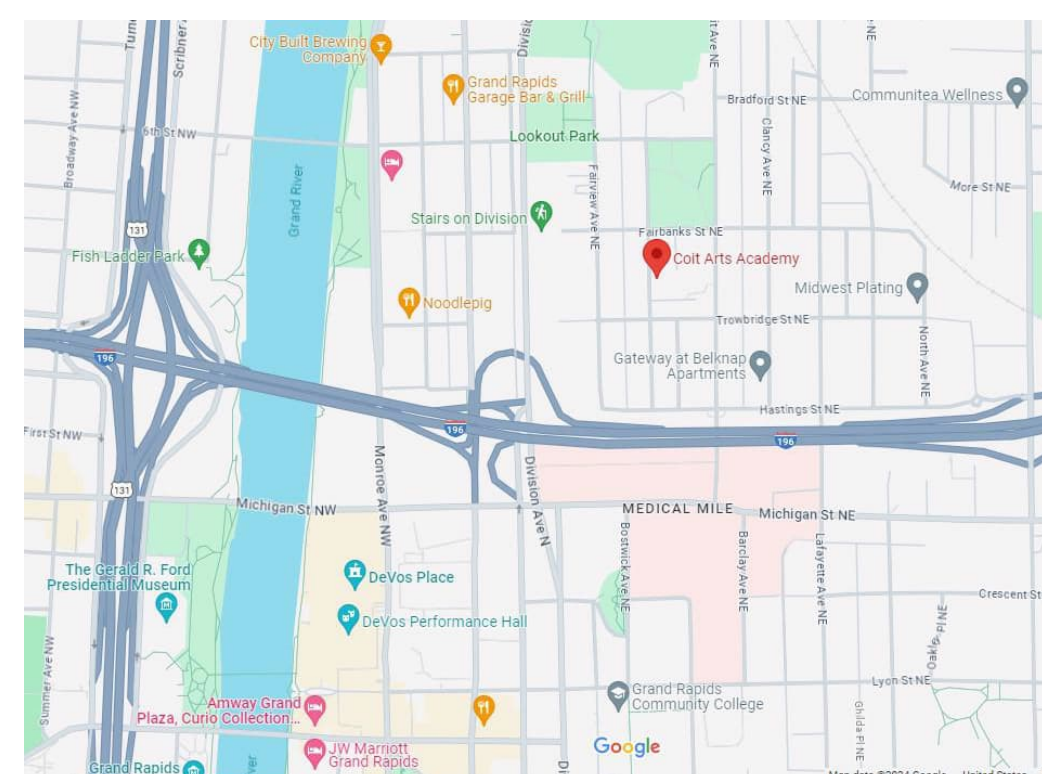
### PROJECT NUMBER: 230458

### ISSUE DATE: 23-AUG-2024

## CONSTRUCTION DOCUMENTS



(866) 454-3923 | WWW.C2AE.COM



### BID ALTERNATES SCHEDULE:

**BID ALTERNATE #1:**  
EXHAUST FAN REPLACEMENT  
BASE BID:  
NO NEW WORK.

**ALTERNATE BID:**  
REMOVE AND REPLACE ROOF MOUNTED EXHAUST FAN.

**BID ALTERNATE #2:**  
POWERED RELIEF HOOD REPLACEMENT  
BASE BID:  
REMOVE AND REPLACE (4) RELIEF HOOD MOTORS, CONTROL DAMPERS AND ACTUATORS, AND PROVIDE (4) NEW VARIABLE FREQUENCY DRIVES.

**ALTERNATE BID:**  
REMOVE AND REPLACE (4) ROOF MOUNTED POWERED RELIEF HOODS.

**BID ALTERNATE #3:**  
ELEVATOR DOOR LOCKING  
BASE BID:  
NO NEW WORK.

**ALTERNATE BID:**  
REMOVE AND REPLACE ELEVATOR DOOR MONITORING SYSTEM, INCLUDING PROGRAMMING.

**BID ALTERNATE #4:**  
ACOUSTIC PANELS AT CHILLER ENCLOSURE  
BASE BID:  
NO NEW WORK.

**ALTERNATE BID:**  
INSTALL EXTERIOR SOUND ABSORBING WALL PANELS ON WALLS OF CHILLER ENCLOSURE.

**BID ALTERNATE #5:**  
THEATRICAL LIGHTING AND RIGGING AT GYMNASIUM 108  
BASE BID:  
NO NEW WORK.

**ALTERNATE BID:**  
INSTALL THEATRICAL LIGHTING, RIGGING AND CURTAINS IN GYMNASIUM-112

**BID ALTERNATE #6:**  
GYMNASIUM WALL PADS  
BASE BID:  
NO NEW WORK.

**ALTERNATE BID:**  
PROVIDE AND INSTALL WALL SAFETY PADS.

SHEET NO.	SHEET NAME
<b>GENERAL</b>	
G-001.2	COVER SHEET
G-100.2	LOWER LEVEL LIFE SAFETY PLAN
G-101.2	FIRST LEVEL LIFE SAFETY PLAN
G-102.2	SECOND LEVEL LIFE SAFETY PLAN
<b>CIVIL</b>	
C-100.2	SITE SURVEY
C-101.2	SITE DEMOLITION PLAN
C-102.2	SITE IMPROVEMENTS PLAN
C-103.2	SITE GRADING & SECS PLAN
C-500.2	SECS NOTES & DETAILS
C-501.2	SITE DETAILS
<b>LANDSCAPE</b>	
L-100.2	LANDSCAPE PLAN
L-500.2	LANDSCAPE DETAILS
<b>ARCHITECTURAL</b>	
A-001.2	LEGENDS, SYMBOLS, ABBREVIATIONS, AND TYPICAL DETAILS
A-002.2	TYP PARTITION TYPES, DETAILS AND NOTES
AD101A.2	DEMOLITION FLOOR PLAN - FIRST LEVEL - AREA A
AD101B.2	DEMOLITION FLOOR PLAN - FIRST LEVEL - AREA B
AD102A.2	DEMOLITION FLOOR PLAN - SECOND LEVEL - AREA A
AD102B.2	DEMOLITION FLOOR PLAN - SECOND LEVEL - AREA B
AD111A.2	DEMOLITION REFLECTED CEILING PLAN - FIRST LEVEL - AREA A
AD111B.2	DEMOLITION REFLECTED CEILING PLAN - FIRST LEVEL - AREA B
AD112A.2	DEMOLITION REFLECTED CEILING PLAN - SECOND LEVEL - AREA A
AD112B.2	DEMOLITION REFLECTED CEILING PLAN - SECOND LEVEL - AREA B
A-100.2	FLOOR PLAN - FIRST LEVEL - OVERALL
A-101.2	FLOOR PLAN - FIRST LEVEL - OVERALL
A-101A.2	FLOOR PLAN - FIRST LEVEL - AREA A
A-101B.2	FLOOR PLAN - FIRST LEVEL - AREA B
A-102.2	FLOOR PLAN - SECOND LEVEL - OVERALL
A-102B.2	FLOOR PLAN - SECOND LEVEL - AREA B
A-103.2	ROOF PLAN
A-111.2	REFLECTED CEILING PLAN - FIRST LEVEL - OVERALL
A-111A.2	REFLECTED CEILING PLAN - FIRST LEVEL - AREA A
A-111B.2	REFLECTED CEILING PLAN - FIRST LEVEL - AREA B
A-112.2	REFLECTED CEILING PLAN - SECOND LEVEL
A-112A.2	REFLECTED CEILING PLAN - SECOND LEVEL - AREA A
A-112B.2	REFLECTED CEILING PLAN - SECOND LEVEL - AREA B
A-301.2	ELEVATIONS, WALL SECTIONS, AND DETAILS
A-401.2	INTERIOR ELEVATIONS
A-402.2	INTERIOR ELEVATIONS
A-601.2	DOOR SCHEDULES & DIAGRAMS
<b>INTERIORS</b>	
I-101.2	FINISH PLAN - FIRST LEVEL
I-102.2	FINISH PLAN - SECOND LEVEL
I-120.2	SIGNAGE PLAN - FIRST LEVEL AND SECOND LEVEL

SHEET NO.	SHEET NAME
<b>PLUMBING</b>	
P-101A.2	PLUMBING PLAN - FIRST LEVEL - AREA A
P-101B.2	PLUMBING PLAN - FIRST LEVEL - AREA B
P-102A.2	PLUMBING PLAN - SECOND LEVEL - AREA A
P-102B.2	PLUMBING PLAN - SECOND LEVEL - AREA B
P-601.2	PLUMBING DETAILS AND SCHEDULES
<b>MECHANICAL</b>	
MD101A.2	MECHANICAL DEMOLITION PLAN - FIRST LEVEL - AREA A
MD101B.2	MECHANICAL DEMOLITION PLAN - FIRST LEVEL - AREA B
MD102A.2	MECHANICAL DEMOLITION PLAN - SECOND LEVEL - AREA A
MD102B.2	MECHANICAL DEMOLITION PLAN - SECOND LEVEL - AREA B
M-100B.2	MECHANICAL PLAN - LOWER LEVEL - AREA B
M-101A.2	MECHANICAL PLAN - FIRST LEVEL - AREA A
M-101B.2	MECHANICAL PLAN - FIRST LEVEL - AREA B
M-102A.2	MECHANICAL PLAN - SECOND LEVEL - AREA A
M-102B.2	MECHANICAL PLAN - SECOND LEVEL - AREA B
M-103.2	MECHANICAL PLAN - ROOF
M-401.2	ENLARGED MECHANICAL PLANS
M-402.2	ENLARGED MECHANICAL PLANS
M-501.2	MECHANICAL DETAILS
M-601.2	MECHANICAL SCHEDULES
M-701.2	MECHANICAL DIAGRAMS & SCHEMATICS
M-801.2	MECHANICAL CONTROLS
<b>ELECTRICAL</b>	
E-001.2	GENERAL NOTES AND LEGENDS
E-010.2	SITE ELECTRICAL PLAN AND LIGHT FIXTURE SCHEDULE
ED100.2	LOWER LEVEL ELECTRICAL PLAN - DEMOLITION
EL101A.2	FIRST LEVEL LIGHTING PLAN - AREA A
EL101B.2	FIRST LEVEL LIGHTING PLAN - AREA B
EL102A.2	SECOND LEVEL LIGHTING PLAN - AREA A
EL102B.2	SECOND LEVEL LIGHTING PLAN - AREA B
EP100.2	LOWER LEVEL ELECTRICAL PLAN - AREA B AND ROOF LEVEL PLAN
EP101A.2	FIRST LEVEL ELECTRICAL PLAN - AREA A
EP101B.2	FIRST LEVEL ELECTRICAL PLAN - AREA B
EP102A.2	SECOND LEVEL POWER PLAN - AREA A
EP102B.2	SECOND LEVEL POWER PLAN - AREA B
EP701.2	DIAGRAMS
<b>THEATRICAL AV</b>	
TL001.2	TL SYMBOLS, NOTES, DIVISION OF LABOR
TL002.2	TL SCHEDULES
TL201.2	TL PLAN - FIRST FLOOR
TL211.2	TL RCP - FIRST FLOOR
TL301.2	TL SECTIONS, ELEVATIONS
TL501.2	TL LIGHTING ZONE PLAN
TL701.2	TL DETAILS, SCHEMATIC - GYMNASIUM
TOTAL SHEETS: 83	

CIVIL	ARCHITECTURAL	MECHANICAL	ELECTRICAL

IT IS UNDERSTOOD THAT THE CONTRACTOR SHALL PERFORM ALL WORK UNDER THIS CONTRACT IN ACCORDANCE WITH ALL APPLICABLE PROVISIONS, POLICIES, RULES AND STANDARDS OF THE MICHIGAN OCCUPATIONAL SAFETY AND HEALTH ACT (MSHA), BEING ACT 154 OF THE PUBLIC ACTS OF 2013 AND AS AMENDED.

EXCEPT WHERE OTHERWISE INDICATED ON THE PLANS OR IN THE PROPOSAL SUPPLEMENTAL SPECIFICATIONS CONTAINED THEREIN, ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF THE MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION, 2020 EDITION, AND THE CURRENT SUPPLEMENTAL SPECIFICATIONS. (AVAILABLE AT WWW.MDOTJBOSS.STATE.MI.US/SPEC/PROV/SPECBOOK/HOME.HTM#1468271)

THROUGHOUT THE DRAWING SET, THE GRAYSCALE LEGEND ON THE EDGE OF TITLE BLOCKS SHOULD TRANSITION FROM WHITE THROUGH EIGHT SHADES OF GRAY TO SOLID BLACK. IF THE GRAYSCALE SHADES ARE NOT DISTINCT, THE DRAWING(S) HAVE NOT PRINTED CORRECTLY.



COVER SHEET

COIT CREATIVE ARTS ACADEMY  
617 COIT AVE., GRAND RAPIDS, MI 49503

### PHASE

CONSTRUCTION DOCUMENTS

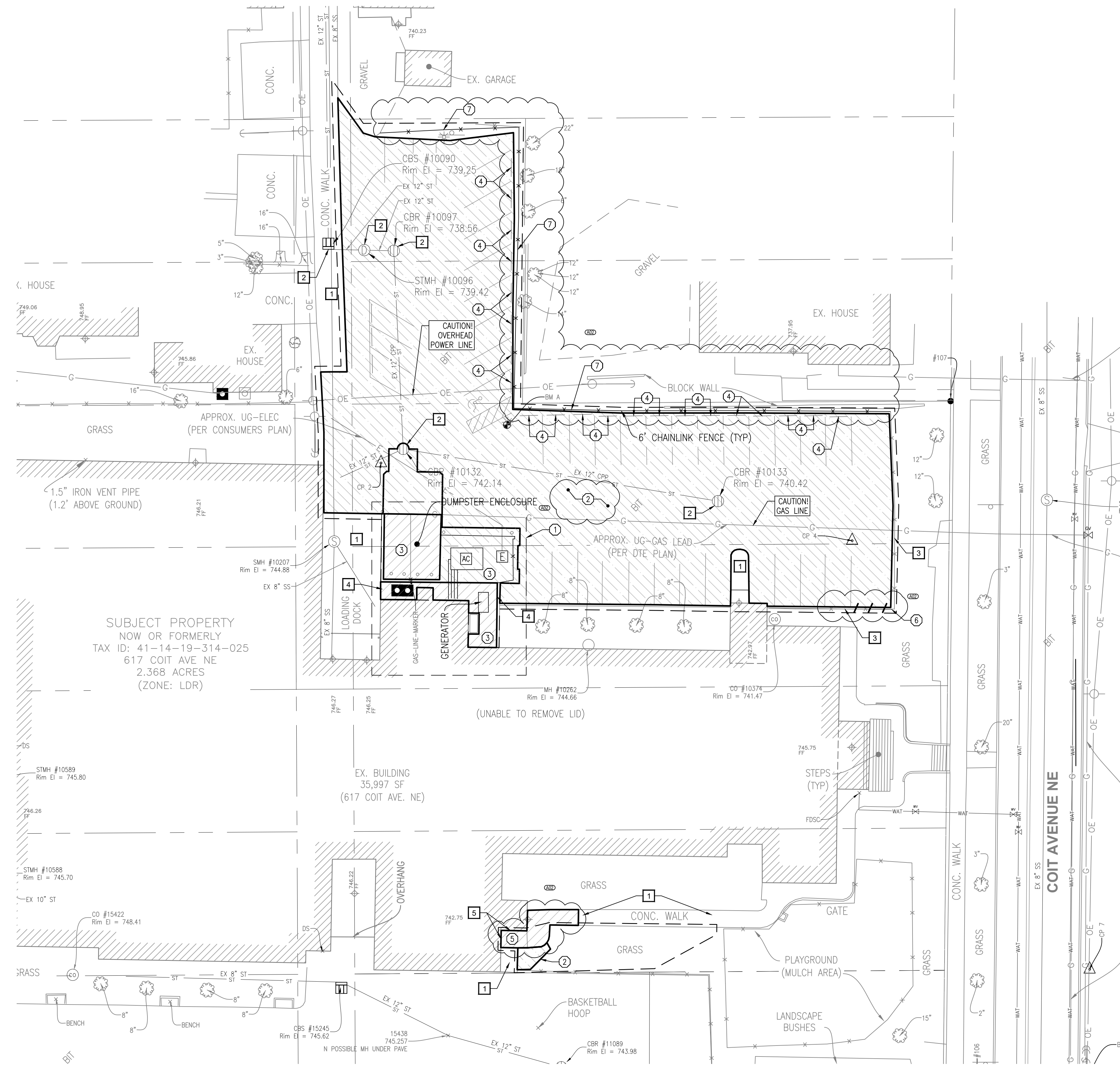
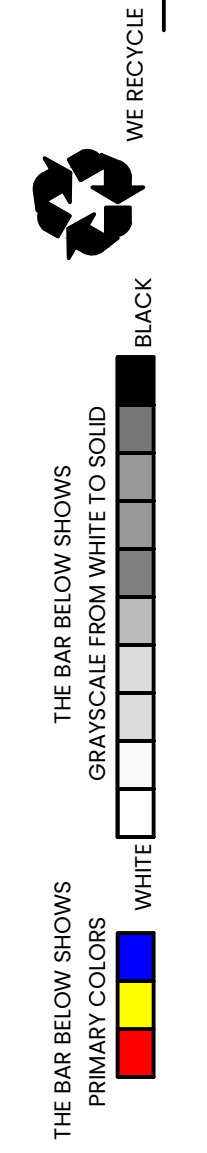
### ISSUANCES

#	DESCRIPTION	DATE
0	CONSTRUCTION DOCUMENTS23-AUG-2024	
A02	ADDENDUM 2	20-SEP-2024

PROJ. #: 230458  
COPYRIGHT C2AE.  
NOT TO BE REPRODUCED OR DISTRIBUTED WITHOUT PRIOR WRITTEN CONSENT.  
ALL RIGHTS RESERVED.

# G-001.2



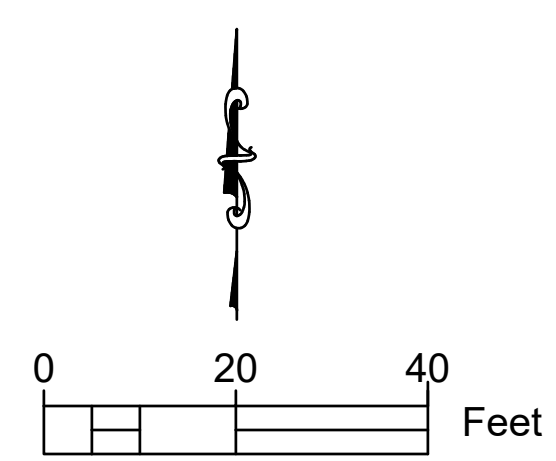


SUBJECT PROPERTY  
 NOW OR FORMERLY  
 TAX ID: 41-14-19-314-025  
 617 COIT AVE NE  
 2.368 ACRES  
 (ZONE: LDR)

EX. BUILDING  
 35,997 SF  
 (617 COIT AVE. NE)

(UNABLE TO REMOVE LID)

COIT AVENUE NE



**BENCHMARKS**

B.M. A - CHISELED SQUARE S SIDE OF LIGHTPOLE BASE N: 540045.34, E:12775894.16 ELEV. 744.28'
B.M. B - SOUTHWEST FLANGE BOLT ON HYDRANT N: 540006.76, E:12775640.72 ELEV. 750.03'
B.M. C - SPIKE W SIDE OF PP ON E SIDE OF ROAD N: 540006.76, E:12776096.96 ELEV. 737.96'

**DEMOLITION LEGEND**

- CONSTRUCTION LIMITS
- [Hatched Box] FULL-DEPTH CONCRETE REMOVAL
- [Hatched Box] FULL-DEPTH HMA REMOVAL
- [Wavy Line Box] REMOVE EXISTING CONCRETE CURB AND GUTTER

**SITE REMOVAL KEY**

- 1 REFER TO ARCHITECTURAL PLANS FOR INFORMATION ON REMOVAL OF EX. EQUIPMENT AND RETAINING WALLS.
  - 2 REMOVE EX. HMA PAVEMENT TO FULL DEPTH
  - 3 REMOVE EX. CONCRETE PAVEMENT TO FULL DEPTH.
  - 4 REMOVE AND SALVAGE EX. WHEEL STOP.
  - 5 REMOVE EX. CONCRETE STEPS.
  - 6 REMOVE EX. CONCRETE CURB.
  - 7 REMOVE EX. CHAIN LINK FENCE.\*
- \*NOTE: SALVAGE EXISTING FENCE-MOUNTED "RESERVED" PARKING SIGNAGE

**SITE PROTECTION KEY**

- 1 PROTECT EX. CONCRETE PAVEMENT TO REMAIN.
- 2 PROTECT EX. UTILITY STRUCTURE TO REMAIN.
- 3 PROTECT EX. FENCE TO REMAIN.
- 4 PROTECT EX. WALL TO REMAIN.
- 5 PROTECT EX. BUILDING EXTERIOR.

**DEMOLITION NOTES**

1. THE INFORMATION CONTAINED ON THESE DRAWINGS PERTAINING TO EXISTING CONDITIONS, SUCH AS BUT NOT LIMITED TO, UTILITIES, AND TOPOGRAPHY IS FURNISHED SOLELY AS THE BEST INFORMATION AVAILABLE AND ITS ACCURACY IS NOT GUARANTEED. THE USE OF THIS INFORMATION DOES NOT PROVIDE THE CONTRACTOR RELIEF FROM ANY RESPONSIBILITY FOR DAMAGES DUE TO ANY INACCURACIES.
2. CONTRACTOR SHALL CONTACT MISS DIG AT 811 OR (800)-482-7171 AT LEAST 3 WORKING DAYS PRIOR TO ANY EXCAVATION TO CONFIRM THE LOCATIONS OF EXISTING BURIED UTILITIES. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING UTILITY OWNERS WHO MAY NOT BE PART OF THE "MISS DIG" ALERT SYSTEM. THE CONTRACTOR SHALL COORDINATE THE RELOCATION OF EXISTING UTILITIES, IF REQUIRED, WITH THE UTILITY OWNER AND BE RESPONSIBLE FOR PROTECTING EXISTING UTILITIES AND REPAIRING DAMAGE TO EXISTING UTILITIES RESULTING FROM THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COSTS OF REPAIRING OR REPLACING ANY DAMAGED UTILITIES AT NO EXPENSE TO THE OWNER. THE CONTRACTOR SHALL LOCATE ANY PRIVATE UTILITIES (I.E. LIGHTING, ETC.) INCIDENTAL TO THE WORK.
3. CONTRACTOR IS RESPONSIBLE FOR ESTABLISHING AND MAINTAINING HORIZONTAL AND VERTICAL CONTROL POINTS, BENCHMARKS, ETC. CONTRACTOR IS RESPONSIBLE FOR PROVIDING CONSTRUCTION STAKING AND FIELD LAYOUT. IT IS RECOMMENDED THAT TWO (2) BENCHMARKS BE USED FOR VERIFICATION OF ALL CONSTRUCTION ELEVATIONS. SET ADDITIONAL BENCHMARKS, AS NEEDED, TO COMPLY WITH THIS REQUIREMENT.
4. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR THE PROTECTION OF ALL EXISTING UTILITIES DURING CONSTRUCTION. THE CONTRACTOR SHALL VERIFY THE DEPTH AND HORIZONTAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. THE EXACT LOCATION OF EXISTING UTILITIES SHALL BE DETERMINED BY HAND DIGGING. ALL UTILITIES DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED WITH LIKE MATERIAL IN ACCORDANCE WITH THE UTILITY OWNER'S REQUIREMENTS.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DEWATERING NECESSARY TO COMPLETE THE WORK NOTED ON THESE PLANS. WATER REMOVED BY DEWATERING EQUIPMENT SHALL NOT BE DISPOSED OF INTO EXISTING SANITARY SEWERS.
6. CONTRACTOR SHALL CONDUCT ALL EXCAVATION, FILLING, GRADING, AND CLEAN-UP OPERATIONS IN A MANNER SUCH THAT SEDIMENT GENERATED BY WIND OR WATER IS NOT DISCHARGED OFF SITE INTO THE AIR, ANY STORM SEWER OR UNDERGROUND UTILITY SYSTEM, DRAINAGE DITCH, RIVER, OR LAKE. STAGE THE WORK TO MINIMIZE THE AREA OF EXPOSED SOIL, THEREBY REDUCING THE OPPORTUNITY FOR SOIL EROSION.
7. ALL AREAS DISTURBED OUTSIDE OF THE CONSTRUCTION LIMITS SHALL BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN EXISTED PRIOR TO CONSTRUCTION AND TO THE SATISFACTION OF THOSE HAVING JURISDICTION, UNLESS NOTED OTHERWISE ON THE PLANS.
8. ALL ESTABLISHED LAWN AREAS DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE SEEDED AND MULCHED. SEEDING AND MULCHING SHALL BE DONE IN ACCORDANCE WITH THE GENERAL SPECIFICATIONS.
9. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS REQUIRED FOR CONSTRUCTION.



(866) 454-3923 | WWW.C2AE.COM

**SITE DEMOLITION PLAN**

COIT CREATIVE ARTS ACADEMY  
 617 COIT AVE, GRAND RAPIDS, MI 49503

**PHASE**

CONSTRUCTION DOCUMENTS

**ISSUANCES**

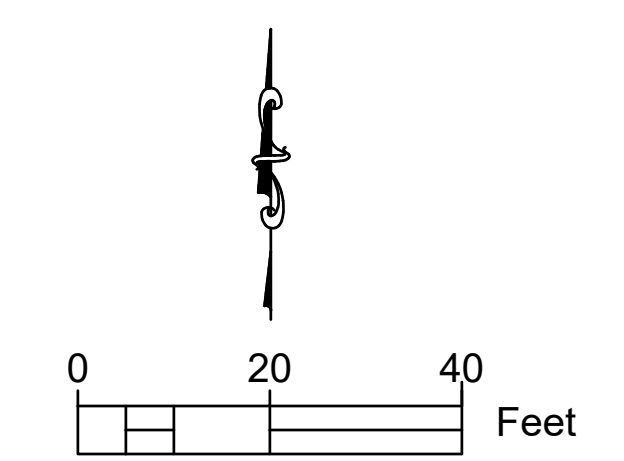
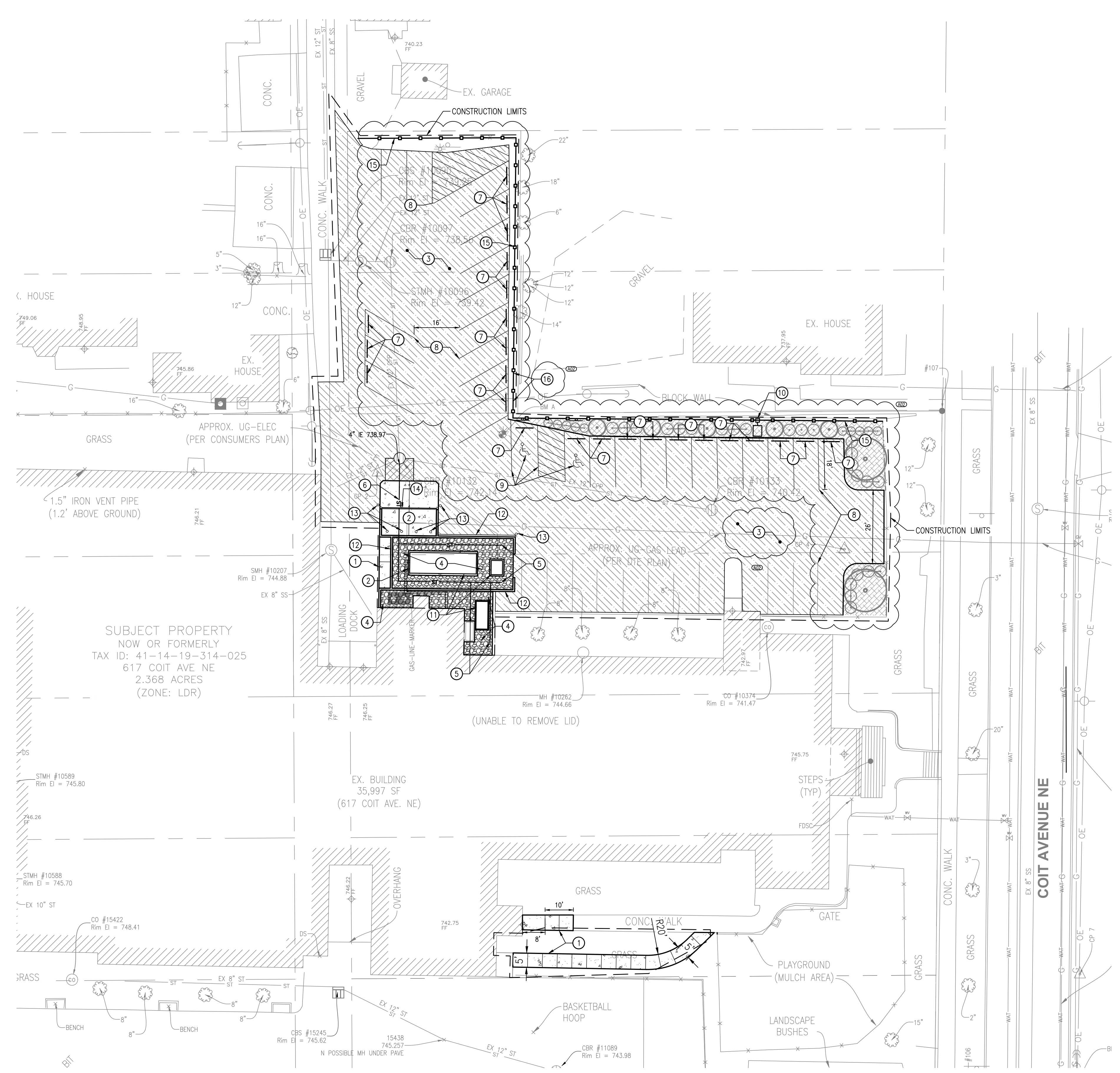
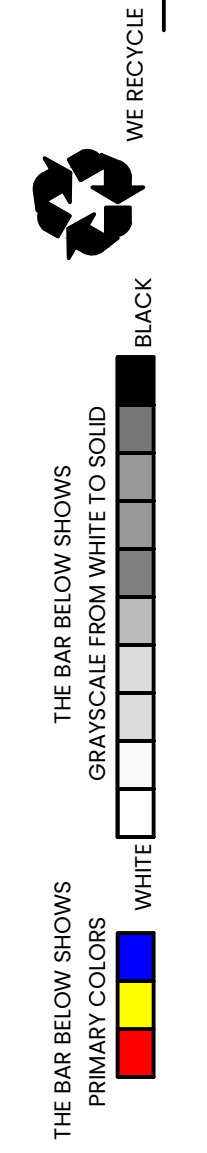
#	DESCRIPTION	DATE
0	CONSTRUCTION DOCUMENTS	23-AUG-2024
A02	ADDENDUM 02	20-SEP-2024

PROJ. #: 230458

COPYRIGHT © C2AE  
 NOT TO BE REPRODUCED OR DISTRIBUTED  
 WITHOUT PRIOR WRITTEN CONSENT  
 ALL RIGHTS RESERVED

**C-101.2**





**BENCHMARKS**

B.M. A - CHISELED SQUARE S SIDE OF LIGHTPOLE BASE N: 540045.34, E:12775894.16 ELEV. 744.28'
B.M. B - SOUTHWEST FLANGE BOLT ON HYDRANT N: 540006.76, E:12775640.72 ELEV. 750.03'
B.M. C - SPIKE W SIDE OF PP ON E SIDE OF ROAD N: 540006.76, E:12776096.96 ELEV. 737.96'

**SITE IMPROVEMENT LEGEND**

- CONSTRUCTION LIMITS
- [Hatched Box] HEAVY DUTY HMA PAVEMENT
- [Dotted Box] CONCRETE SIDEWALK

**SITE IMPROVEMENT NOTES**

1. ALL AREAS SHOWN NOT BUILT, PAVED OR OTHERWISE COVERED BY CONSTRUCTION SHALL BE HYDROMULCH SEEDED, REFER TO SPECS FOR DETAILS.
2. ALL AREAS DISTURBED BY CONSTRUCTION WHICH ARE OUTSIDE THE CONSTRUCTION LIMITS SHALL BE RESTORED TO A CONDITION EQUAL TO, OR BETTER THAN EXISTING CONDITIONS.
3. THE SITE CONTRACTOR SHALL COORDINATE WORK WITH ALL ADJACENT CONSTRUCTION BY OTHERS.
4. REFER TO SHEET C-103.2 FOR SITE GRADING DESIGN.

**SITE IMPROVEMENT KEY**

- 1 4" NON-REINFORCED CONCRETE SIDEWALK
- 2 8" REINFORCED CONCRETE PAVEMENT
- 3 HEAVY DUTY HMA PAVEMENT
- 4 STONE SURFACING
- 5 4" PERFORATED HDPE UNDERDRAIN @ 0.5% MIN.
- 6 4" HDPE STORM SEWER @ 1.0% MIN. & TAP EXISTING STRUCTURE
- 7 INSTALL SALVAGED WHEEL STOP
- 8 4-IN WIDE YELLOW PAVEMENT MARKING, TYPICAL PLACE AT 3-FT C-C FOR NO PARKING AREAS AND AISLE WAYS.
- 9 4-IN WIDE BLUE PAVEMENT MARKING, PLACE AT 3-FT C-C FOR BARRIER-FREE AISLE WAYS. INSTALL BARRIER FREE SYMBOL PAVEMENT MARKING AT EACH SPACE WITH 12-IN X 18-IN BARRIER FREE SIGN MOUNTED ON 13-FT LONG STEEL POST. INSTALL VAN ACCESSIBLE SIGN AT SPACE TO LEFT OF 8-FT AISLE.
- 10 SITE LIGHTING. REFER TO ELECTRICAL PLANS FOR INFORMATION.
- 11 REFER TO ELECTRICAL/MECHANICAL PLANS FOR INFORMATION REGARDING EQUIPMENT.
- 12 CHILLER ENCLOSURE. REFER TO ARCHITECTURAL PLANS FOR INFORMATION.
- 13 4" STEEL BOLLARD.
- 14 DUMPSTER ENCLOSURE. REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION.
- 15 4' SOLID FENCING.
- 16 MOUNT SALVAGED "RESERVED" PARKING SIGNS FOR SCHOOL STAFF TO FENCE W/ STAINLESS STEEL WOOD SCREWS IN LOCATIONS AS DIRECTED BY OWNER.



(866) 454-3923 | WWW.C2AE.COM

**SITE IMPROVEMENTS PLAN**

COIT CREATIVE ARTS ACADEMY  
 617 COIT AVE, GRAND RAPIDS, MI 49503

**PHASE**

CONSTRUCTION DOCUMENTS

**ISSUANCES**

#	DESCRIPTION	DATE
0	CONSTRUCTION DOCUMENTS	23-AUG-2024
A02	ADDENDUM 02	20-SEP-2024

PROJ. #: 230458  
 COPYRIGHT © C2AE  
 NOT TO BE REPRODUCED OR DISTRIBUTED  
 WITHOUT PRIOR WRITTEN CONSENT  
 ALL RIGHTS RESERVED

**C-102.2**

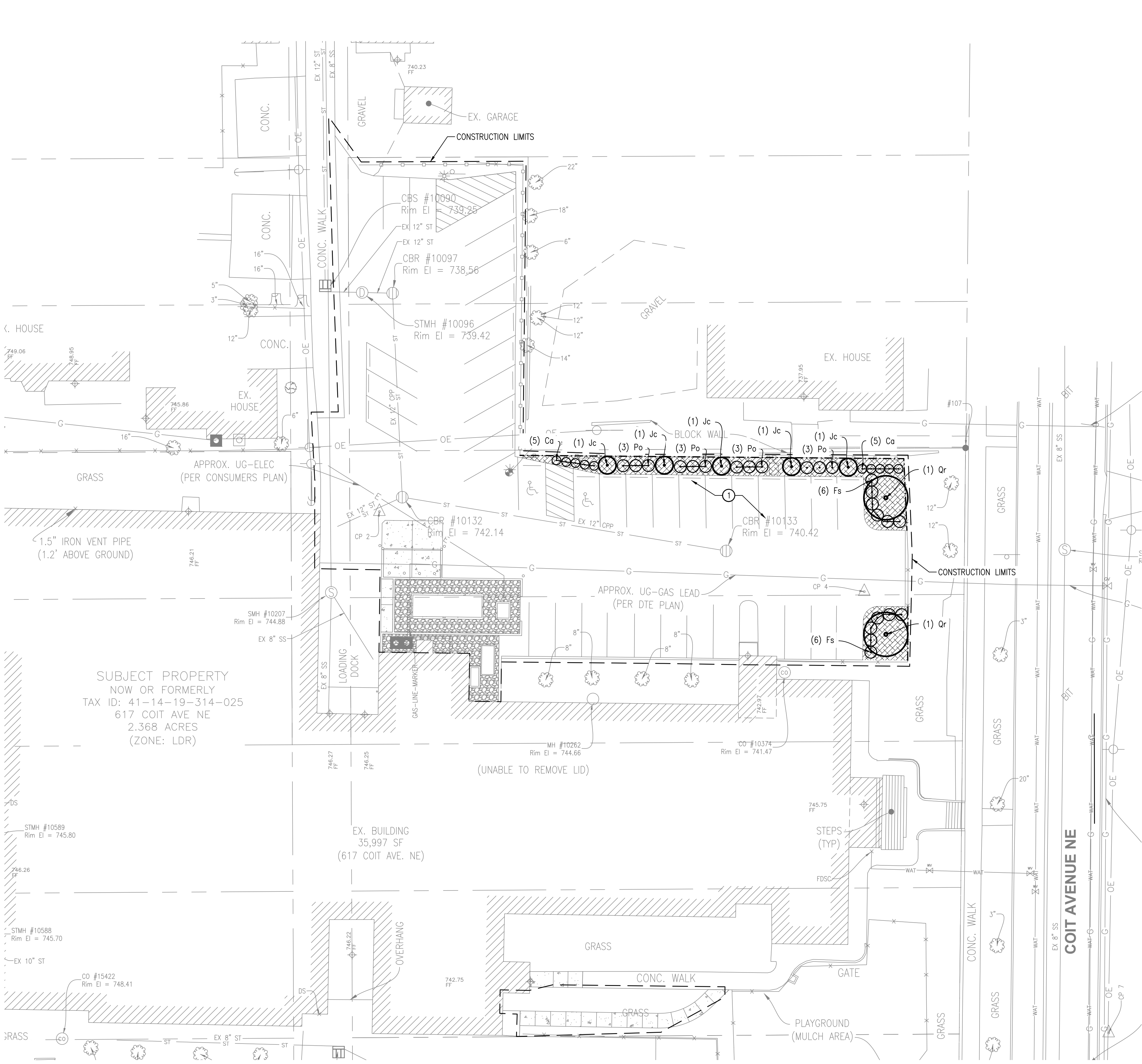












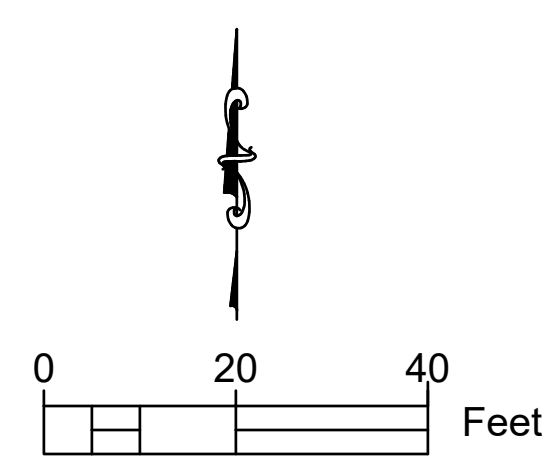
SUBJECT PROPERTY  
 NOW OR FORMERLY  
 TAX ID: 41-14-19-314-025  
 617 COIT AVE NE  
 2.368 ACRES  
 (ZONE: LDR)

EX. BUILDING  
 35,997 SF  
 (617 COIT AVE. NE)

(UNABLE TO REMOVE LID)

**BENCHMARKS**

B.M. A - CHISELED SQUARE S SIDE OF LIGHTPOLE BASE N: 540045.34, E:12775894.16 ELEV. 744.28'
B.M. B - SOUTHWEST FLANGE BOLT ON HYDRANT N: 540006.76, E:12775640.72 ELEV. 750.03'
B.M. C - SPIKE W SIDE OF PP ON E SIDE OF ROAD N: 540006.76, E:12776096.96 ELEV. 737.96'



**LANDSCAPE LEGEND**

- TREE OR SHRUB
- 4" HARDWOOD MULCH. SEE SPECIFICATION 329300 SECTION 2.7.
- ALUMINUM LANDSCAPE EDGING WITH 12" STAKES. PERMALOC CLEANLINE OR EQUAL.

**LANDSCAPE KEYNOTES**

- 1 TRIM EXISTING SHADE TREE BRANCHES HANGING OVER PROPERTY LINE/PARKING LOT TO MINIMUM 15' HEIGHT CLEARANCE.

**LANDSCAPE NOTES**

1. THE CONTRACTOR SHALL FIELD STAKE LOCATIONS OF ALL PROPOSED LANDSCAPE MATERIAL FOR REVIEW BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO ADJUST LOCATIONS OF PLANT MATERIAL PRIOR TO INSTALLATION.
2. REFER TO PLANT SCHEDULE, THIS SHEET FOR PLANT IDENTIFICATION AND PLANTING REQUIREMENTS. REFER TO SPECIFICATIONS FOR INSTALLATION, MAINTENANCE AND GUARANTEE REQUIREMENTS.
3. CONTRACTOR SHALL COORDINATE INSTALLATION OF PLANTS WITH OTHER TRADES, INCLUDING CONCRETE, AND ANY OTHERS.
4. ALL PLANTING AREAS TO BE COVERED IN 4" OF DOUBLE SHREDDED HARDWOOD MULCH AT TIME OF PLANTINGS UNLESS OTHERWISE SPECIFIED.
5. ALL AREAS DISTURBED BY CONSTRUCTION NOT BUILT, PAVED OR OTHERWISE COVERED SHALL BE HYDROMULCH SEEDED AT THE FOLLOWING RATE AND MIXTURE:  
 RATE=8 LBS/1000 SFT  
 25% PARK KENTUCKY BLUEGRASS  
 15% PENNLAWN CREEPING RED FESCUE  
 15% PENNLAWN PERENNIAL RYE GRASS  
 20% RUGBY KENTUCKY BLUEGRASS  
 25% BANFT OR BRONCO KENTUCKY BLUEGRASS  
 WEED SEED SHALL NOT EXCEED 0.35% BY WEIGHT IN THE TOTAL AMOUNT SUPPLIED.
6. CONTRACTOR TO REMOVE EXISTING GRAVEL IN PROPOSED PLANTING AREAS AS NEEDED TO ACCOMMODATE PLANTING MIX SPECIFIED IN DETAIL.

**PLANTING SCHEDULE**

CODE	SCIENTIFIC NAME	COMMON NAME	QTY	SIZE	COMMENTS
<b>TREES</b>					
JC	Thuja occidentalis 'SMTOBM3' PP #34,685	UPSTANDING EMERALD ARBORVITAE	5	5' HT.	SPACING AS SHOWN
QR	Quercus 'Regal Prince'	REGAL PRINCE COLUMNAR OAK	2	2.5" CAL.	B&B, SPACING AS SHOWN
<b>SHRUBS</b>					
FS	Ilex glabra 'Compacta'	COMPACT INKBERRY	12	3' HT.	PLANT 4' O.C., INCLUDE ONE MALE PLANT
PO	Physocarpus opulifolius 'Tiny Wine'	TINY WINE NINEBARK	12	3' HT.	PLANT 4' O.C.
<b>PERENNIALS</b>					
CA	Calamagrostis canadensis	CANADA BLUEJOINT	10	#1 CONT.	PLANT 3' O.C.



(866) 454-3923 | WWW.C2AE.COM

**LANDSCAPE PLAN**

COIT CREATIVE ARTS ACADEMY  
 617 COIT AVE, GRAND RAPIDS, MI 49503

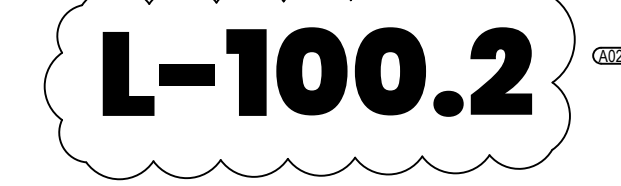
**PHASE**

CONSTRUCTION DOCUMENTS

**ISSUANCES**

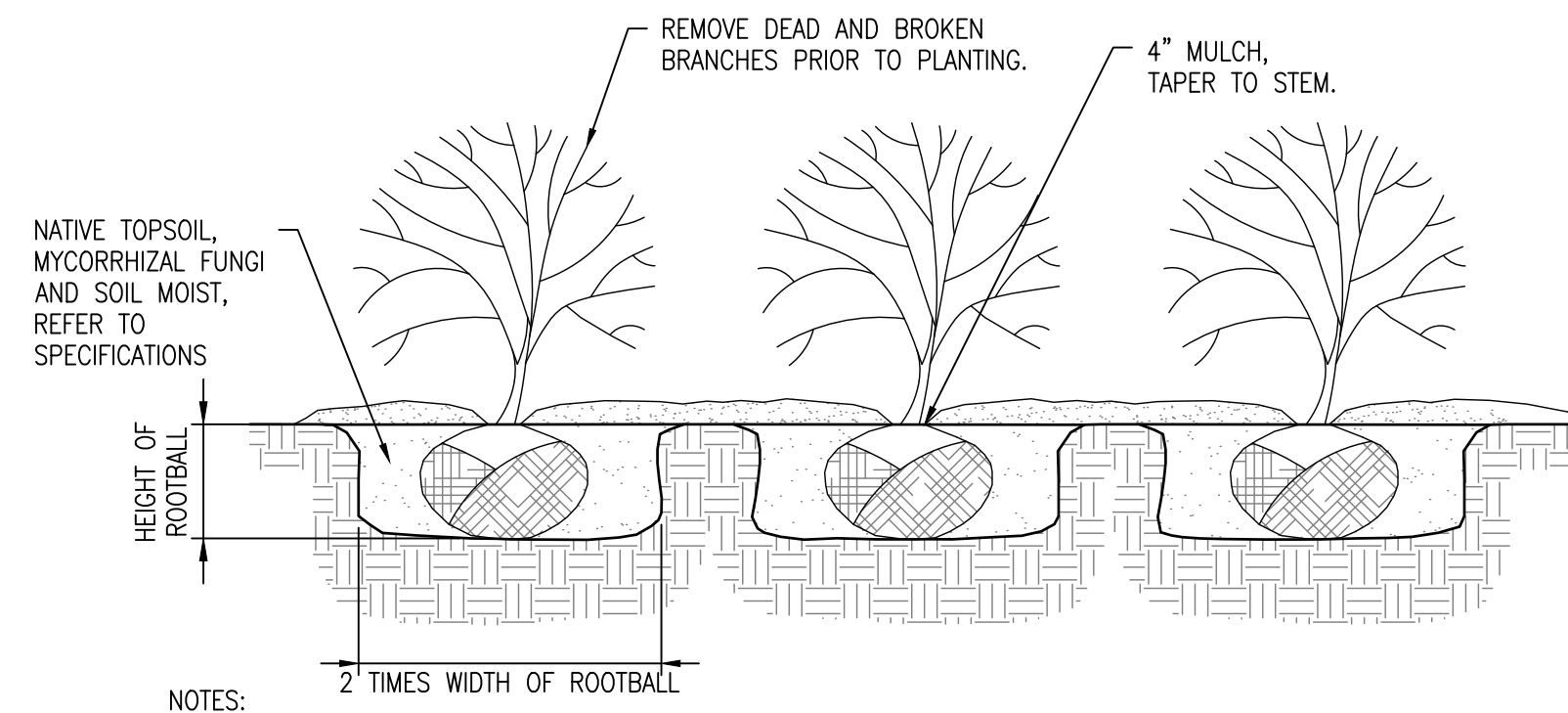
#	DESCRIPTION	DATE
0	CONSTRUCTION DOCUMENTS	23-AUG-2024
A02	ADDENDUM 02	20-SEP-2024

PROJ. #: 230458  
 COPYRIGHT © C2AE  
 NOT TO BE REPRODUCED OR DISTRIBUTED  
 WITHOUT PRIOR WRITTEN CONSENT  
 ALL RIGHTS RESERVED



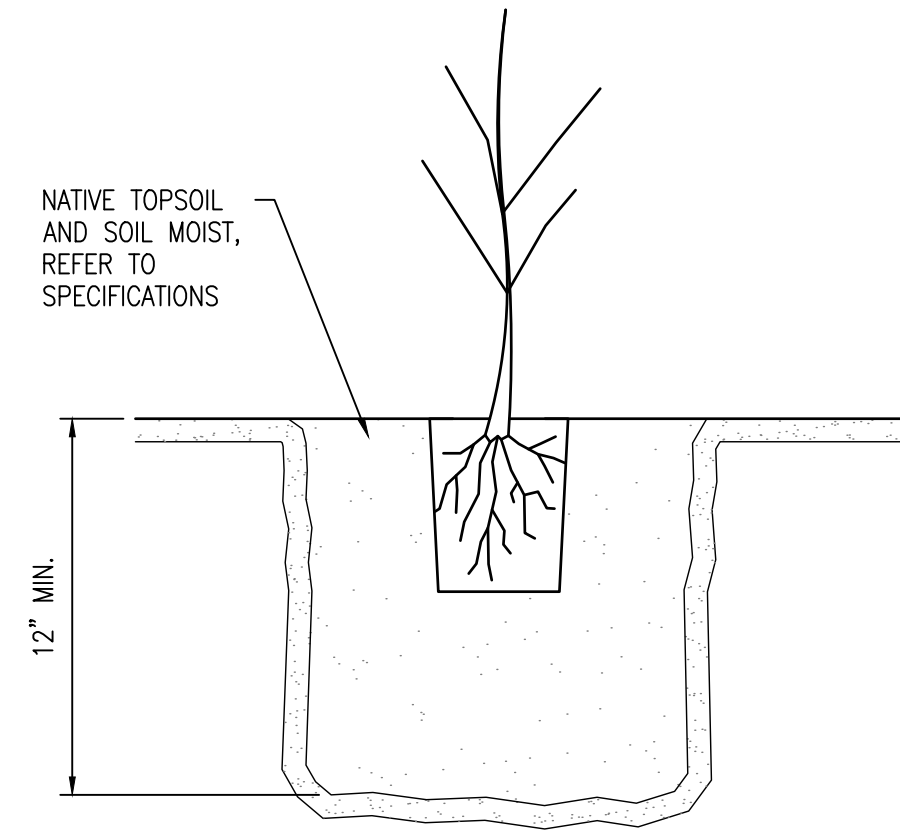
Addendum #2



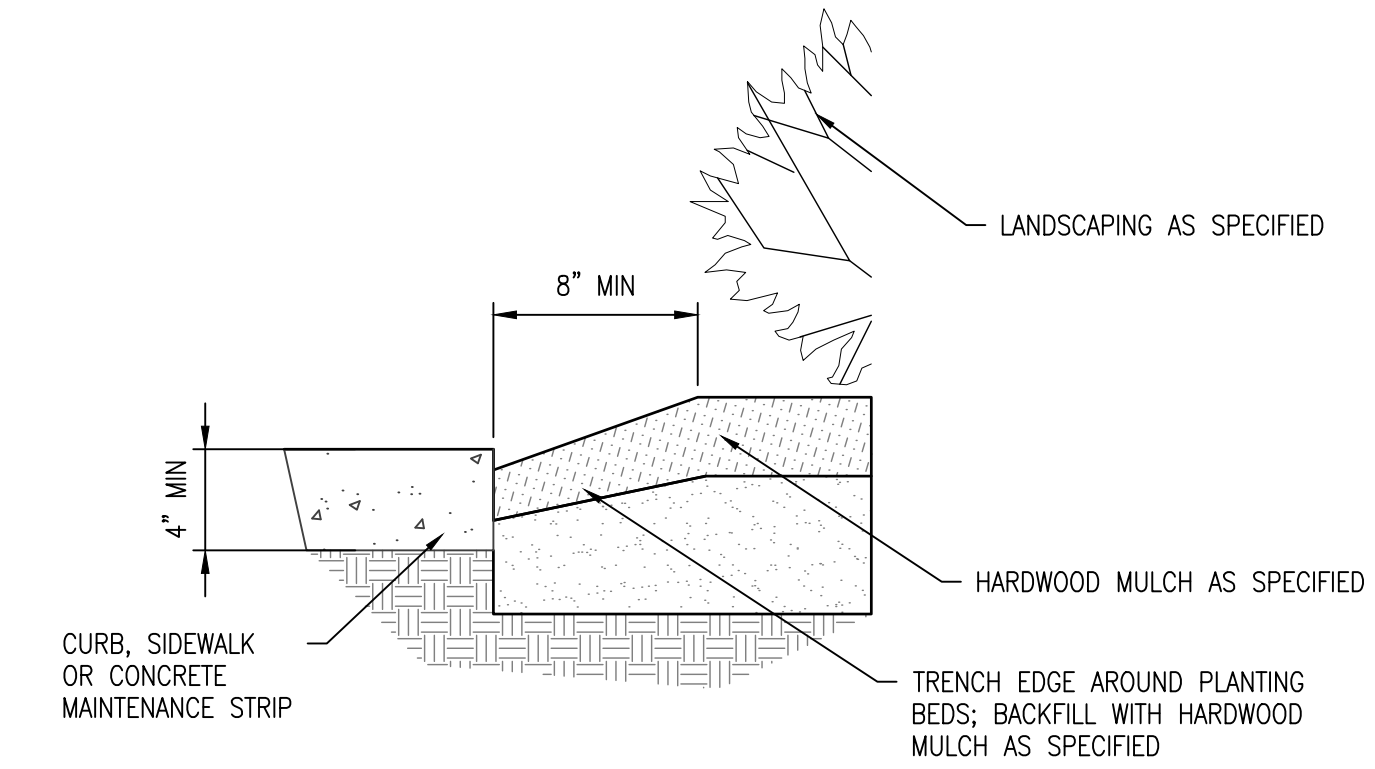


- NOTES:
1. PREPARE PLANTING BEDS TO SIZE AND SHAPE AS INDICATED ON THE PLANS. INSTALL LANDSCAPE EDGING AS INDICATED ON THE PLANS.
  2. PLACE GRANULAR, PRE-EMERGENT WEED PREVENTER ONTO SOIL SURFACE PRIOR TO PLACING MULCH. ALL PLANTS SHALL BE SET PLUMB AND HAVE THE BEST SIDE OF THE PLANT FACING TOWARD THE MAIN DIRECTION OF VIEW.
  3. APPLY FERTILIZER ONLY IF RECOMMENDED BY SOIL TESTING AGENCY. REFER TO SPECIFICATIONS FOR MORE INFORMATION.

1 SHRUB BED INSTALLATION  
NO SCALE

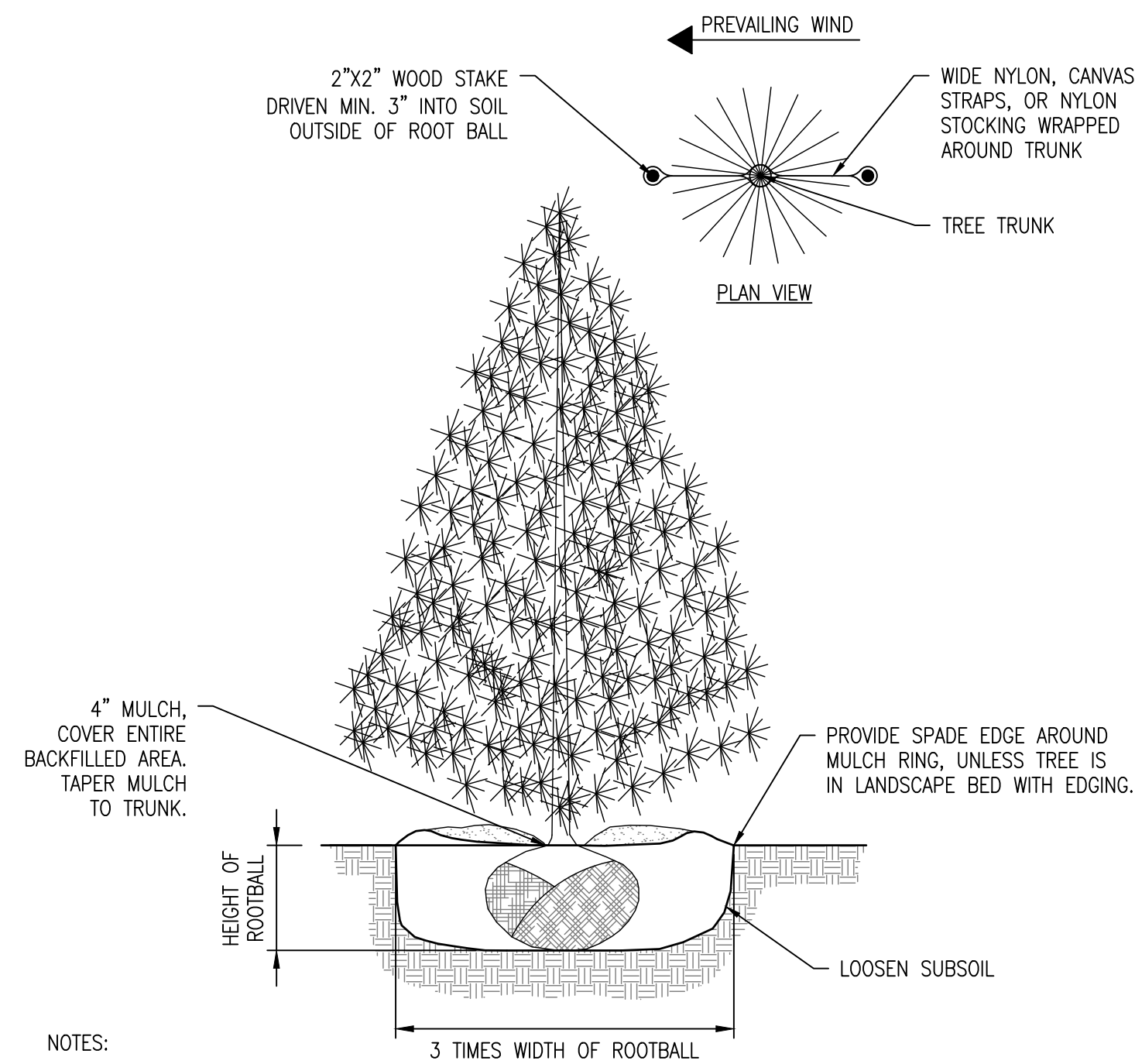


2 PERENNIAL PLUG INSTALLATION  
NO SCALE



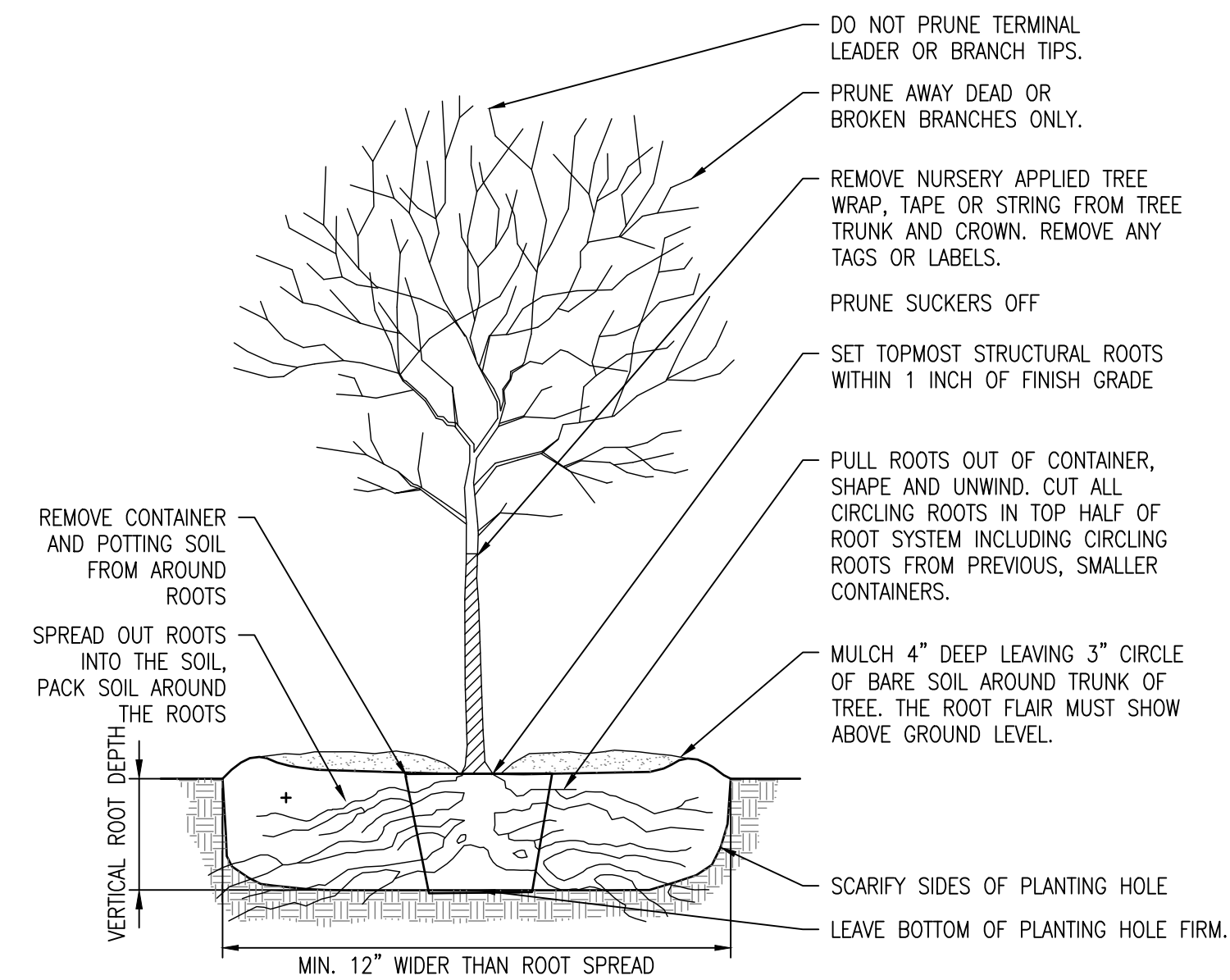
- NOTES:
1. TRENCH ALL EDGES ADJACENT TO CURB OR OTHER HARDSCAPE SURFACES FOR MULCH CONTAINMENT.

3 MULCH CONTAINMENT DETAIL  
NO SCALE



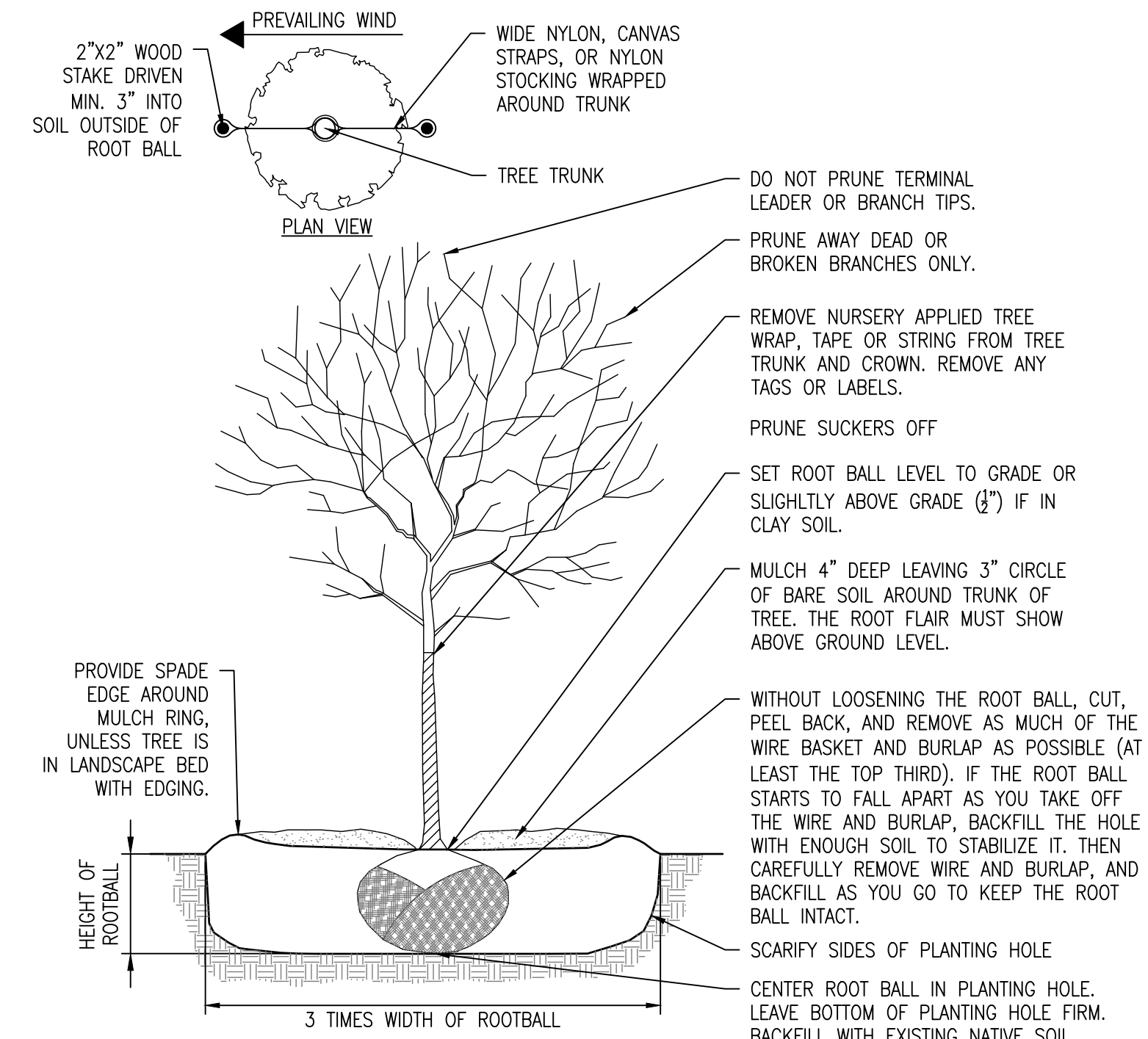
- NOTES:
1. DIG THE PLANT POCKET A MINIMUM OF 3 TIMES WIDER THAN THE WIDTH OF THE ROOT BALL AND ONLY AS DEEP AS THE ROOT SYSTEM, UNLESS OTHERWISE SPECIFIED.
  2. LOOSEN SUBSOIL TO A DEPTH OF 4". LOOSEN EARTH ON SIDES OF PLANT POCKET TO BREAK ANY GLAZING CAUSED BY DIGGING.
  3. PLACE ROOT BALL IN CENTER OF PLANTING HOLE, PLUMB WITH BOTTOM OF THE HOLE, WITH TREE TRUNK UPRIGHT AND STRAIGHT.
  4. BALLED AND BURLAP TREES: WITHOUT LOOSENING THE ROOT BALL, CUT, PEEL BACK, AND REMOVE AS MUCH OF THE WIRE BASKET AND BURLAP AS POSSIBLE (AT LEAST THE TOP THIRD) IF THE ROOT BALL STARTS TO FALL APART AS YOU TAKE OFF THE WIRE AND BURLAP. BACKFILL THE HOLE WITH ENOUGH SOIL TO STABILIZE IT. THEN CAREFULLY REMOVE WIRE AND BURLAP, AND BACKFILL AS YOU GO TO KEEP THE ROOT BALL INTACT.
  5. BACKFILL PLANTING HOLE WITH ORIGINAL SOIL, BREAKING UP LARGE CLODS, AND WORKING IT WITH HANDS OR SHOVEL. WATER THE ROOT BALL AND ENTIRE BACKFILLED AREA.
  6. PLACE 4" OF MULCH OVER THE BACK FILLED AREA. PULL MULCH AWAY FROM THE TRUNK SO THAT NONE TOUCHES THE BARK.
  7. STAKE TREE ONLY IF NECESSARY. STAKE WHEN THE ROOT BALL IS UNSTABLE, THE TRUNK IS BENDING, SITES WITH HEAVY PEDESTRIAN TRAFFIC, OR ON WINDY AND EXPOSED SITES. USE WIDE NYLON, CANVAS STRAPS, OR NYLON STOCKINGS. PLACE MINIMUM OF TWO STAKES, OUTSIDE OF THE ROOT BALL, ON OPPOSITE SIDES OF THE TREE. REMOVE AFTER 1 YEAR.

4 EVERGREEN TREE INSTALLATION  
NO SCALE



- NOTES:
1. DIG THE PLANT POCKET AT LEAST 12" WIDER THAN ROOT SPREAD AND DEEP ENOUGH TO ACCOMMODATE VERTICAL ROOTS.
  2. LOOSEN SUBSOIL TO A DEPTH OF 4". LOOSEN EARTH ON SIDES OF PLANT POCKET TO BREAK ANY GLAZING CAUSED BY DIGGING.
  3. PLACE TREE IN CENTER OF PLANTING HOLE, PLUMB WITH BOTTOM OF THE HOLE, WITH TREE TRUNK UPRIGHT AND STRAIGHT.
  4. BACKFILL PLANTING HOLE WITH ORIGINAL SOIL, MYCORRHIZAL FUNGI AND SOIL MOIST ACCORDING TO MANUFACTURER INSTRUCTIONS, BREAKING UP LARGE CLODS, AND WORKING IT WITH HANDS OR SHOVEL. WATER THE ROOT BALL AND ENTIRE BACKFILLED AREA.
  5. STAKE TREE ONLY IF NECESSARY. STAKE WHEN THE ROOTS ARE UNSTABLE, THE TRUNK IS BENDING, SITES WITH HEAVY PEDESTRIAN TRAFFIC, OR ON WINDY AND EXPOSED SITES. USE WIDE NYLON, CANVAS STRAPS, OR NYLON STOCKINGS. PLACE MINIMUM OF TWO STAKES, OUTSIDE OF THE ROOT BALL, ON OPPOSITE SIDES OF THE TREE. REMOVE AFTER 1 YEAR.

5 CONTAINER TREE INSTALLATION  
NO SCALE



- NOTES:
1. DIG THE PLANT POCKET A MINIMUM OF 3 TIMES WIDER THAN THE WIDTH OF THE ROOT BALL AND ONLY AS DEEP AS THE ROOT SYSTEM, UNLESS OTHERWISE SPECIFIED.
  2. LOOSEN SUBSOIL TO A DEPTH OF 4". LOOSEN EARTH ON SIDES OF PLANT POCKET TO BREAK ANY GLAZING CAUSED BY DIGGING.
  3. PLACE ROOT BALL IN CENTER OF PLANTING HOLE, PLUMB WITH BOTTOM OF THE HOLE, WITH TREE TRUNK UPRIGHT AND STRAIGHT.
  4. BALLED AND BURLAP TREES: WITHOUT LOOSENING THE ROOT BALL, CUT, PEEL BACK, AND REMOVE AS MUCH OF THE WIRE BASKET AND BURLAP AS POSSIBLE (AT LEAST THE TOP THIRD) IF THE ROOT BALL STARTS TO FALL APART AS YOU TAKE OFF THE WIRE AND BURLAP. BACKFILL THE HOLE WITH ENOUGH SOIL TO STABILIZE IT. THEN CAREFULLY REMOVE WIRE AND BURLAP, AND BACKFILL AS YOU GO TO KEEP THE ROOT BALL INTACT.
  5. BACKFILL PLANTING HOLE WITH ORIGINAL SOIL, BREAKING UP LARGE CLODS, AND WORKING IT WITH HANDS OR SHOVEL. WATER THE ROOT BALL AND ENTIRE BACKFILLED AREA.
  6. PLACE 4" OF MULCH OVER THE BACK FILLED AREA. PULL MULCH AWAY FROM THE TRUNK SO THAT NONE TOUCHES THE BARK.
  7. STAKE TREE ONLY IF NECESSARY. STAKE WHEN THE ROOT BALL IS UNSTABLE, THE TRUNK IS BENDING, SITES WITH HEAVY PEDESTRIAN TRAFFIC, OR ON WINDY AND EXPOSED SITES. USE WIDE NYLON, CANVAS STRAPS, OR NYLON STOCKINGS. PLACE MINIMUM OF TWO STAKES, OUTSIDE OF THE ROOT BALL, ON OPPOSITE SIDES OF THE TREE. REMOVE AFTER 1 YEAR.

6 DECIDUOUS TREE INSTALLATION  
NO SCALE

PHASE

CONSTRUCTION DOCUMENTS

ISSUANCES

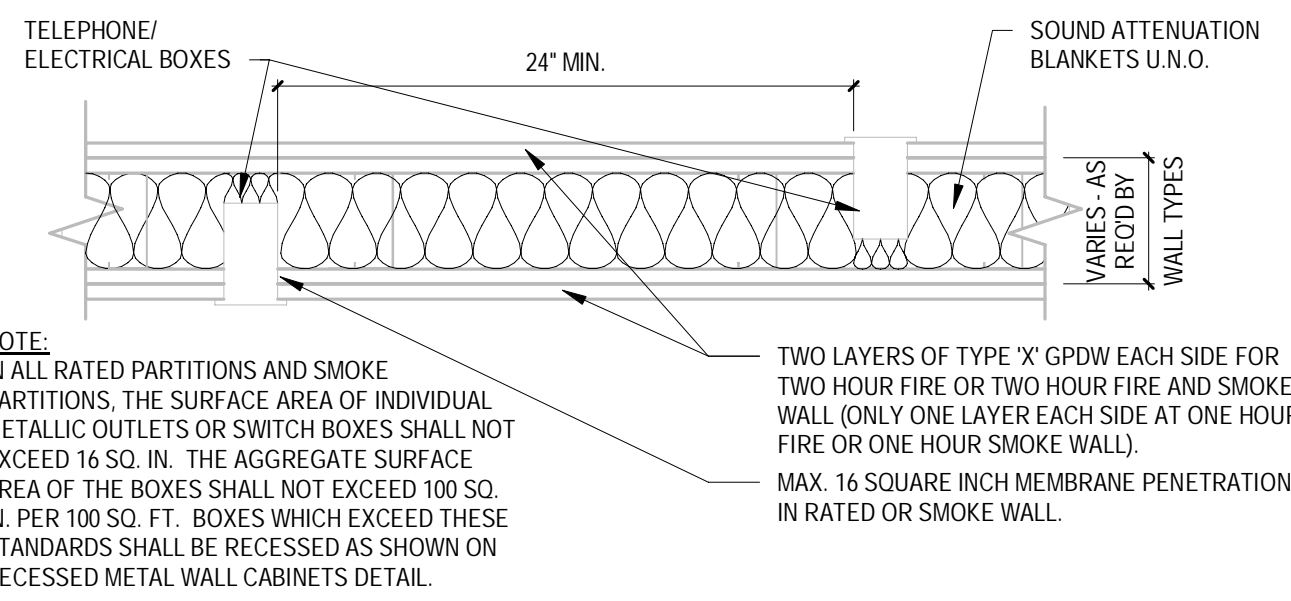
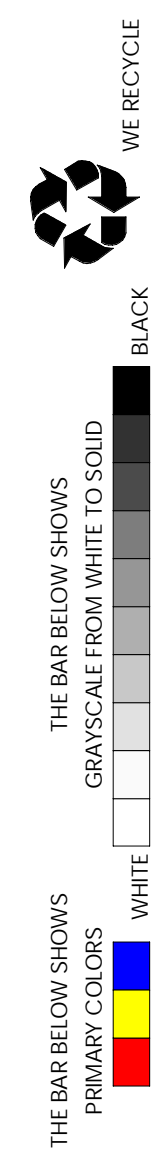
#	DESCRIPTION	DATE
0	CONSTRUCTION DOCUMENTS	23-AUG-2024
A02	ADDENDUM 02	20-SEP-2024

PROJ. #: 230458

COPYRIGHT © C2AE  
NOT TO BE REPRODUCED OR DISTRIBUTED  
WITHOUT PRIOR WRITTEN CONSENT  
ALL RIGHTS RESERVED

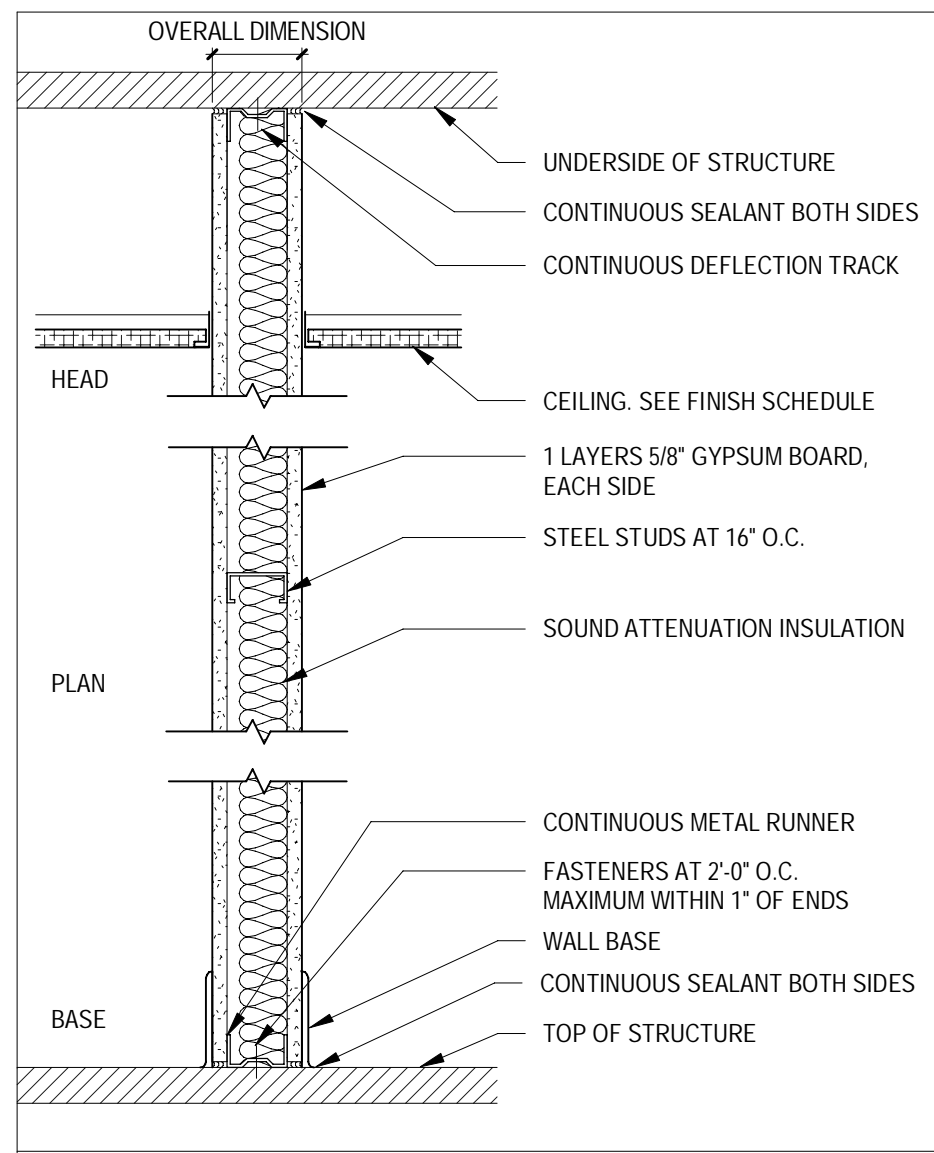
L-500.2



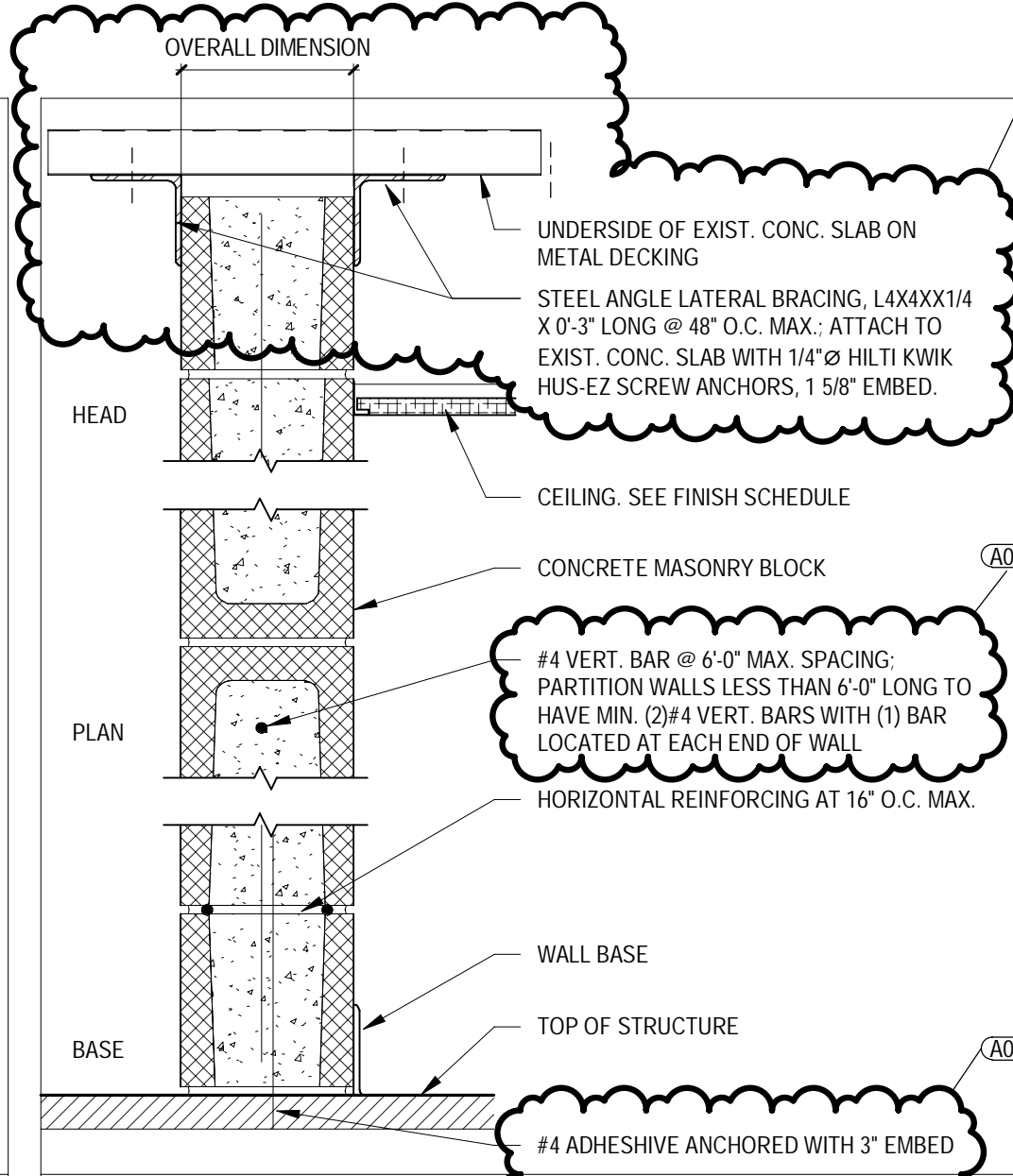


NOTE: REFER TO FLOOR PLANS FOR LOCATION OF CONSTRUCTION PARTITION

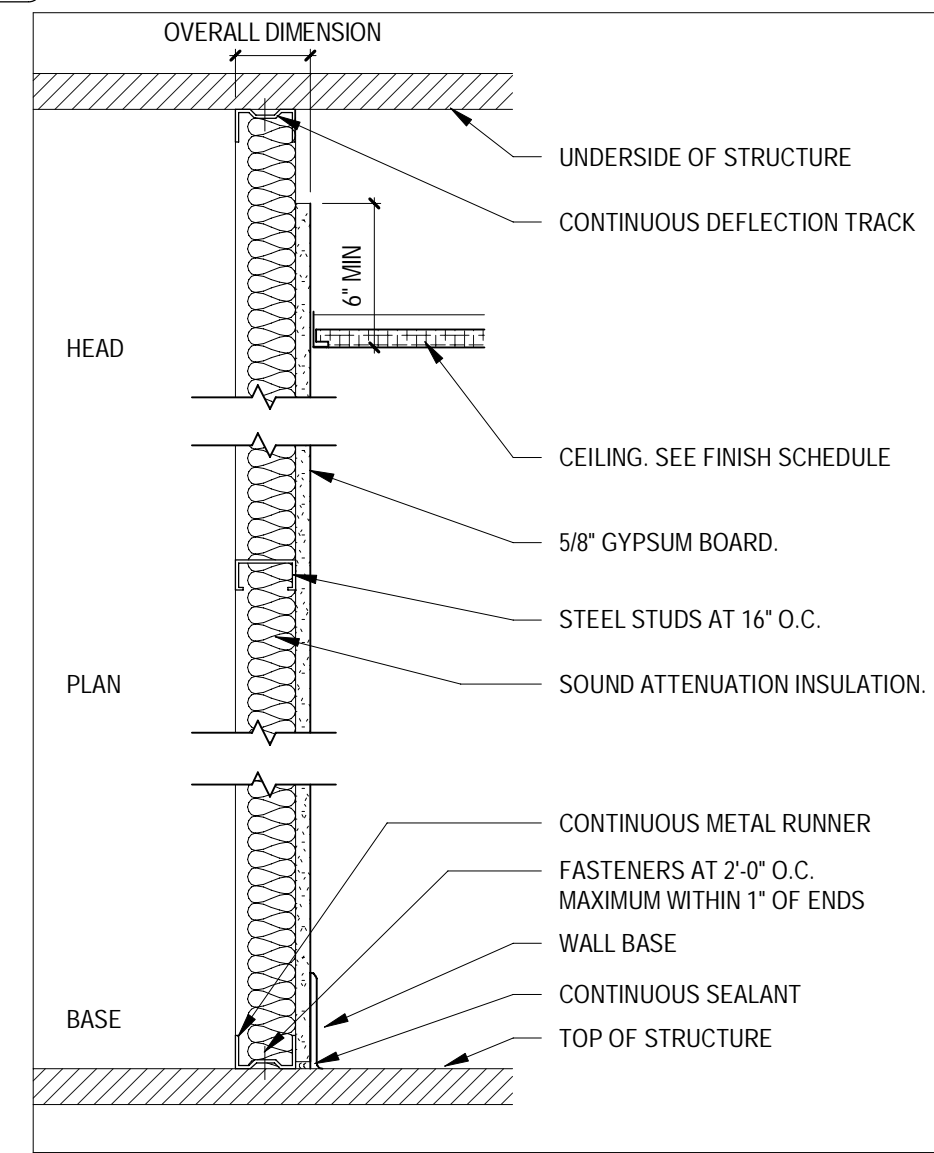
**ELECTICAL / TELEPHONE BOXES IN FIRE AND/OR SMOKE RATED WALLS**  
NOT TO SCALE



<b>S## METAL STUD PARTITION (GYP 2-SIDES)</b>	
<b>NON-RATED</b>	<b>SMOKE BARRIER</b>
S03 METAL STUD SIZE: 3-5/8\"/>	

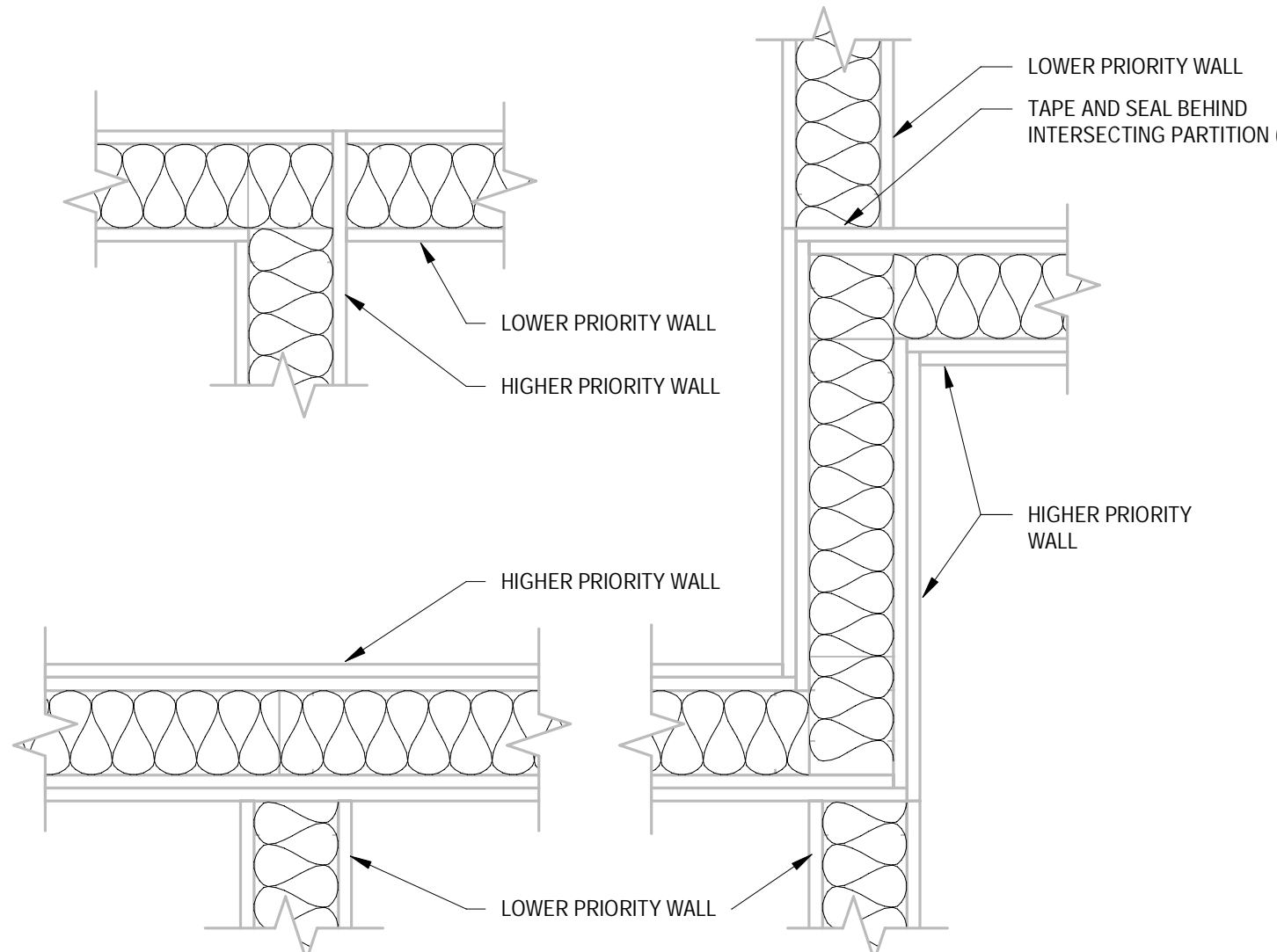
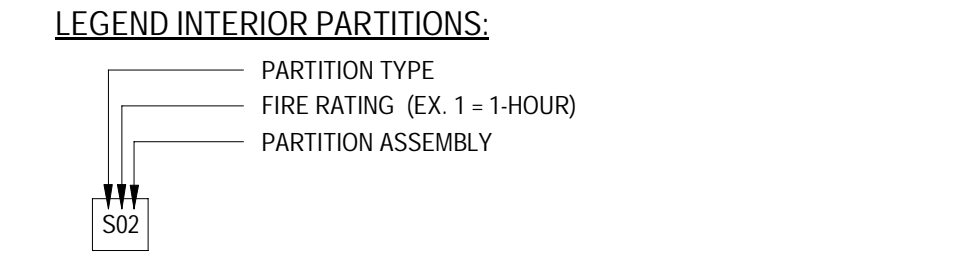


<b>M## MASONRY PARTITION</b>	
<b>NON-RATED</b>	
M01 CMU SIZE: 3-5/8\"/>	

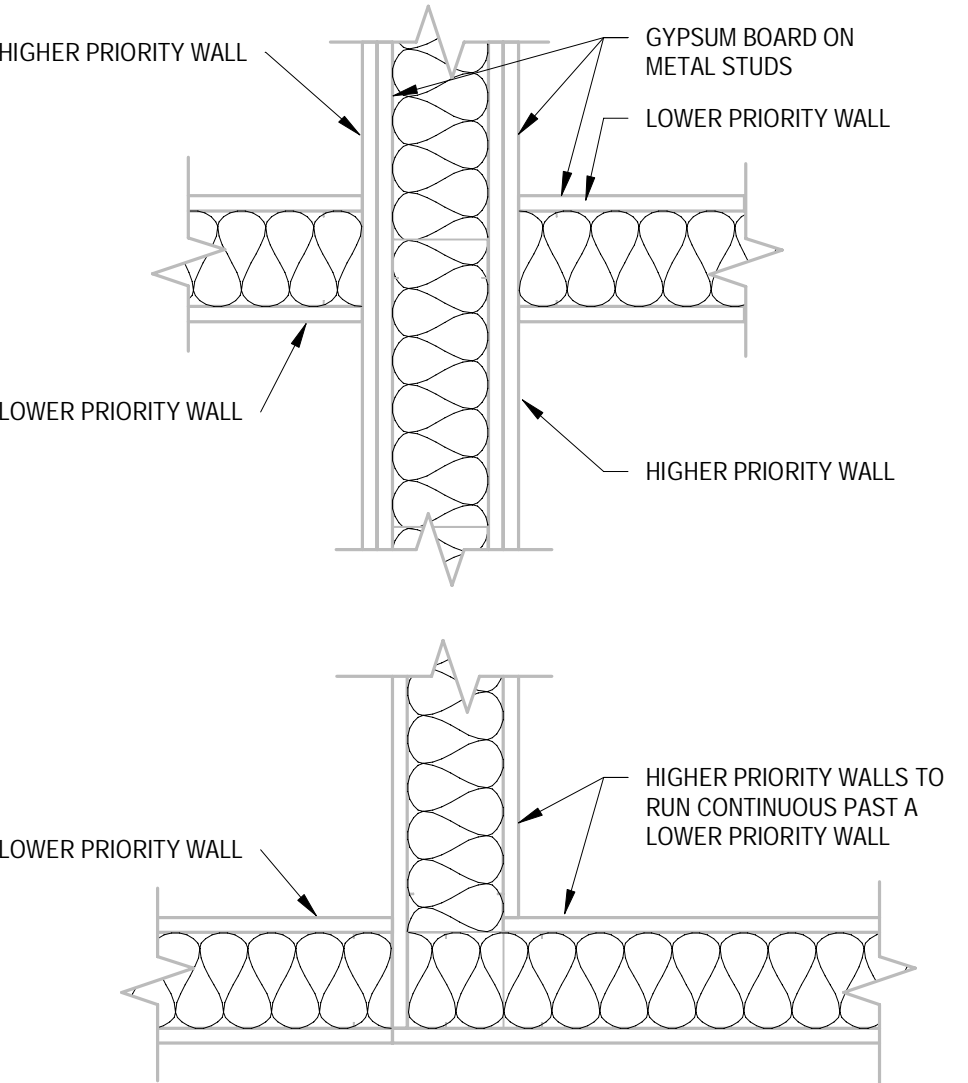


<b>F## METAL STUD PARTITION (GYP 1-SIDE)</b>	
<b>NON-RATED</b>	
F02 METAL STUD SIZE: 2-1/2\"/>	

- PARTITION TYPE GENERAL NOTES**
1. ALL GYPSUM BOARD SHALL BE INSTALLED AS PER SPECIFICATIONS OR ANY OTHER AUTHORITY HAVING JURISDICTION.
  2. PROVIDE ADDITIONAL BRACING AND/OR HEAVIER GAUGE STUDS AT SPANS EXCEEDING THOSE RECOMMENDED BY MANUFACTURER TO PREVENT EXCESSIVE DEFLECTION.
  3. IMPACT RESISTANT GYPSUM BOARD SHALL BE USED ON ALL CORRIDOR SIDES OF PARTITIONS IN LIEU OF STANDARD GYPSUM BOARD.
  4. WATER AND MILDEW RESISTANT GYPSUM BOARD SHALL BE USED AT ALL DAMP LOCATIONS. FOR EXAMPLE BATHROOMS, KITCHENS, PLUMBING CHASE WALLS, ETC. IN LIEU OF STANDARD GYPSUM BOARD.
  5. FIRE RESISTANT GYPSUM BOARD SHALL BE USED AT ALL FIRE RATED AND SMOKE BARRIER PARTITIONS.
  6. ALL PLYWOOD USED IN PARTITIONS SHALL BE FIRE RETARDANT TREATED AS REQUIRED BY NFPA OR OTHER AUTHORITIES HAVING JURISDICTION.



**INTERSECTION OF RATED WALLS**  
NOTE: REFER TO FLOOR PLANS FOR LOCATION OF CONSTRUCTION PARTITION

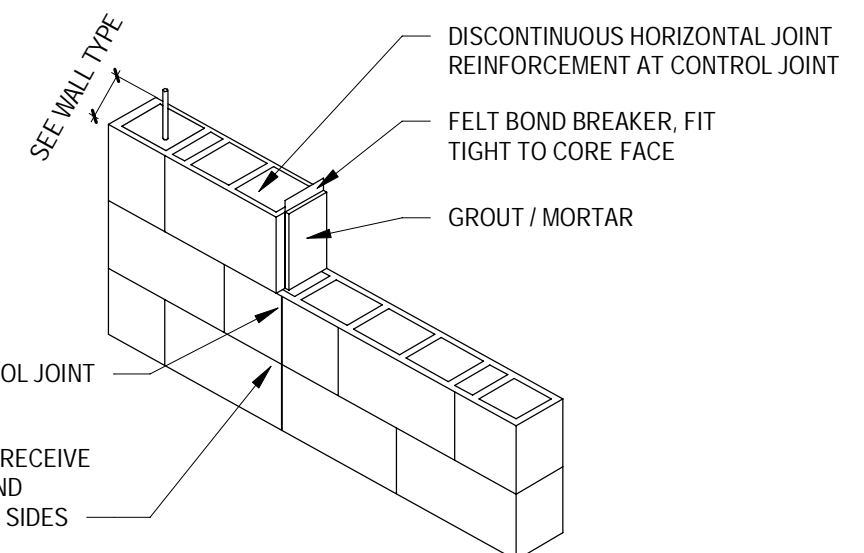


**ABUTMENT OF DISSIMILAR WALLS**  
NOTE: REFER TO FLOOR PLANS FOR LOCATION OF CONSTRUCTION PARTITION

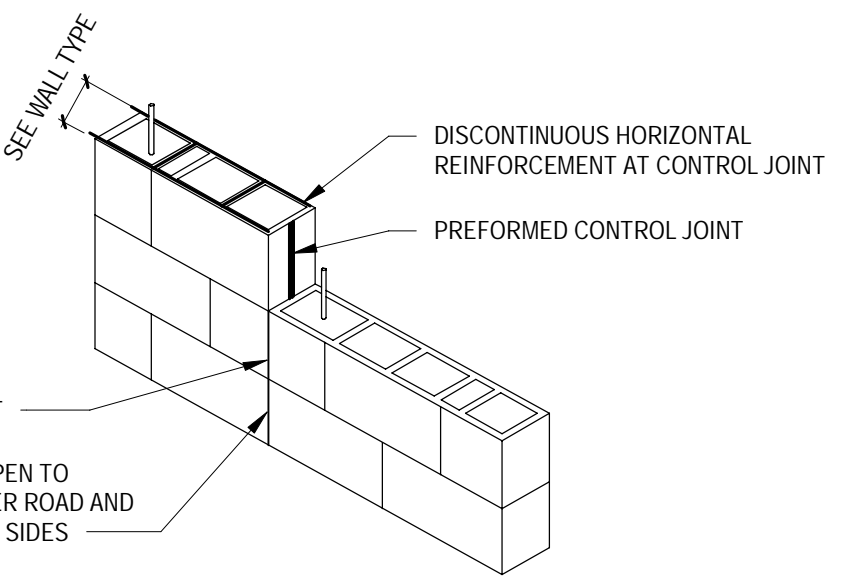
**WALL PRIORITY LEGEND**

TWO HOUR RATED FIRE AND SMOKE PARTITION.....	PRIORITY 1 HIGHEST
TWO HOUR RATED SHAFTWALL.....	PRIORITY 2
TWO HOUR RATED PARTITION.....	PRIORITY 2
ONE HOUR SMOKE PARTITION.....	PRIORITY 3
ONE HOUR RATED PARTITION.....	PRIORITY 4
PARTITION TO DECK (NON-RATED).....	PRIORITY 5
PARTITION TO 4\"/>	

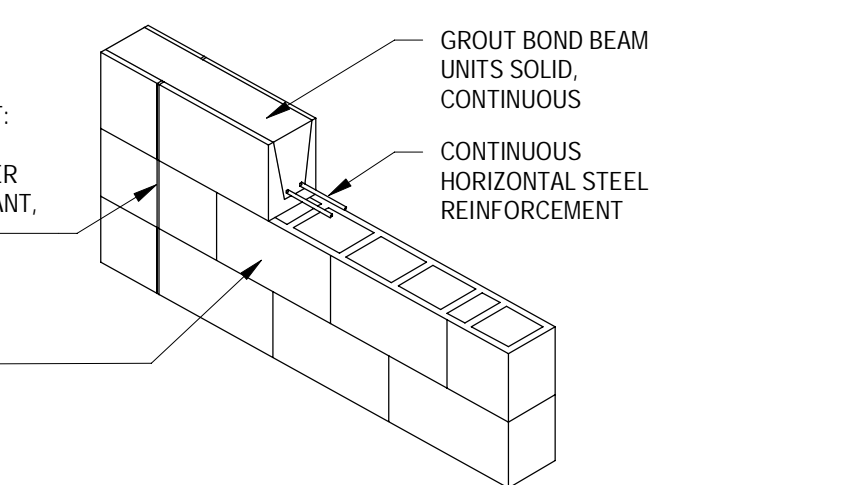
**PROPRIETY WALL INTERSETIONS OF GYPSUM BOARD WALLS**  
NOT TO SCALE



**CMU CONTROL JOINT TYPE A**  
NOT TO SCALE



**CMU CONTROL JOINT TYPE B**  
NOT TO SCALE



**CMU CONTROL JOINT AT BOND BEAM**  
NOT TO SCALE



(866) 454-3923 | WWW.C2AE.COM

**TYP PARTITION TYPES, DETAILS AND NOTES**  
**COIT CREATIVE ARTS ACADEMY**  
**617 COIT AVE., GRAND RAPIDS, MI 49503**

**PHASE**  
CONSTRUCTION DOCUMENTS

**ISSUANCES**

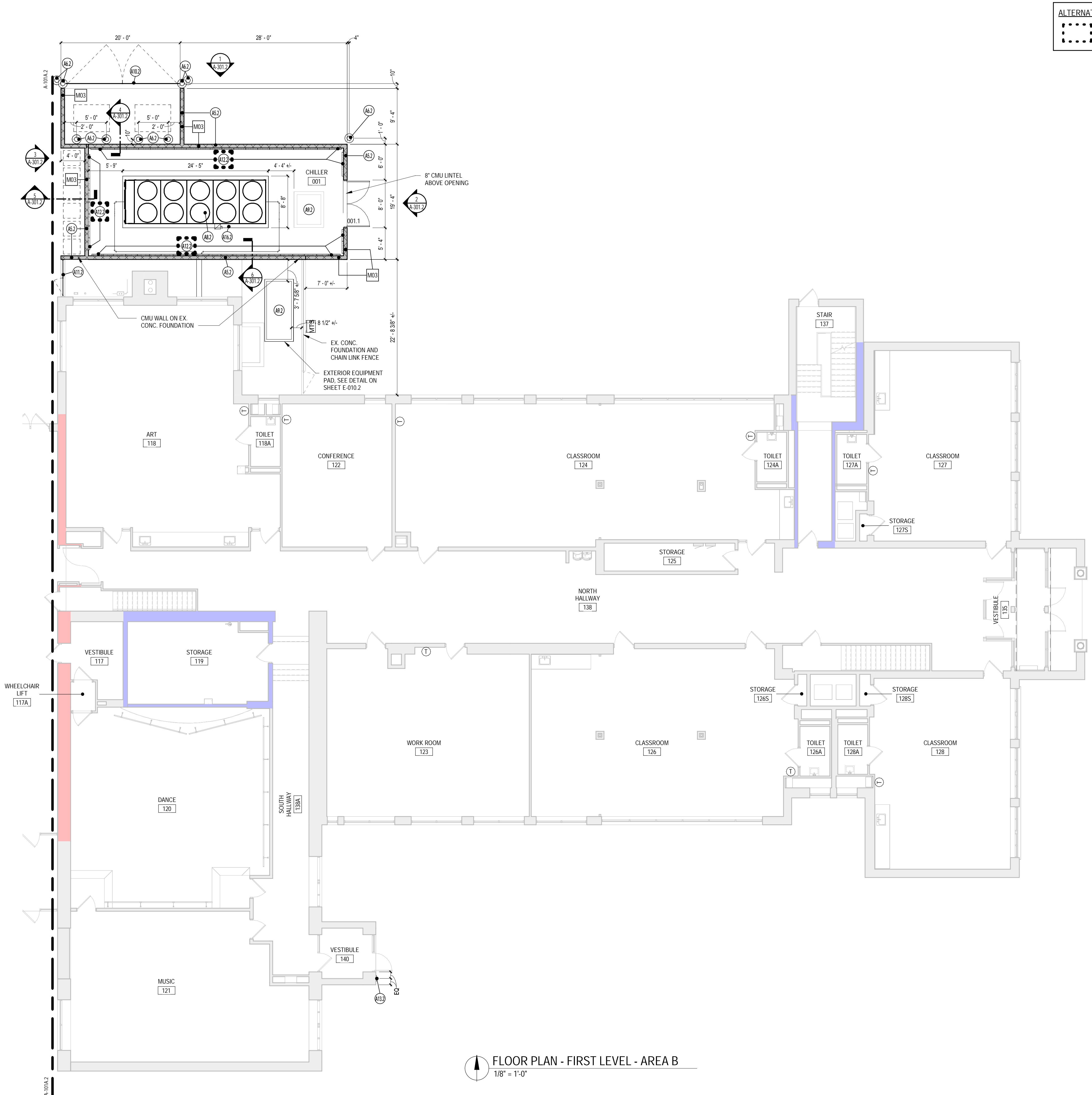
#	DESCRIPTION	DATE
0	CONSTRUCTION DOCUMENTS 23-AUG-2024	
A02	ADDENDUM 2	20-SEP-2024

PROJ. #: 230458  
COPYRIGHT C2AE.  
NOT TO BE REPRODUCED OR DISTRIBUTED WITHOUT PRIOR WRITTEN CONSENT.  
ALL RIGHTS RESERVED.

**A-002.2**



9/20/2024 10:31:02 AM Autodesk Docs://7304188 GRPS Coit Creative Arts Academy/230458\_A.rvt  
 DESIGNED BY: Designer  
 CHECKED BY: Checked/Approved By: Approver



FLOOR PLAN - FIRST LEVEL - AREA B  
 1/8" = 1'-0"

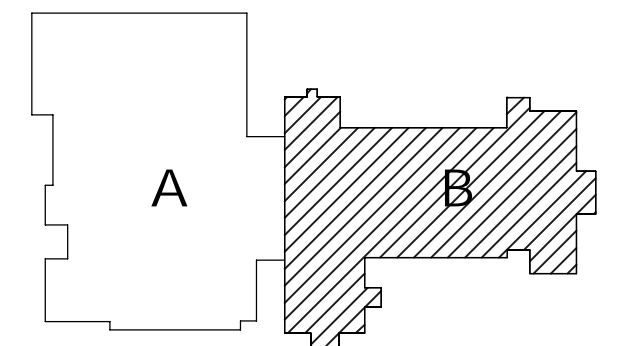
**ALTERNATES LEGEND:**  
 [Dotted Box] SEE BID ALTERNATES

- GENERAL NOTES:**
1. CONTRACTORS ARE TO COORDINATE WORK WITH ALL OTHER TRADES.
  2. CONFLICTS BETWEEN NOTES, DETAILS, SPECIFICATIONS, ETC., SHALL BE VERIFIED WITH THE ARCHITECT OR THE MOST STRINGENT PROVISIONS SHALL GOVERN.
  3. DETAILS OF CONSTRUCTION NOT FULLY SHOWN SHALL BE OF THE SAME NATURE AS SHOWN FOR SIMILAR CONDITIONS. ANY UNCLER CONDITIONS SHALL BE VERIFIED WITH THE ARCHITECT PRIOR TO CONSTRUCTION OF THAT AREA.
  4. DRAWINGS ARE NOT TO BE SCALED. ANY UNCLER DIMENSIONS, OR DIMENSIONAL DISCREPANCIES, SHALL BE VERIFIED WITH ARCHITECT.
  5. ALL EXISTING CONDITIONS AND ALL RELATED DIMENSIONS INDICATED IN THE CONTRACT DOCUMENTS SHALL BE FIELD VERIFIED PRIOR TO FABRICATION, ERECTION, AND/OR CONSTRUCTION. ANY CONDITIONS THAT DIFFER FROM THAT INDICATED IN THE CONTRACT DOCUMENTS SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW PRIOR TO FABRICATION, ERECTION, AND/OR CONSTRUCTION.
  6. CONTRACTOR TO REVIEW ENTIRE SET OF CONSTRUCTION DOCUMENTS, INCLUDING SPECIFICATION, AND SHALL COORDINATE WORK BETWEEN ALL TRADES. IF CONFLICTS ARISE DUE TO COORDINATION OF TRADES, CONTRACTOR IS TO VERIFY CONFLICT WITH ARCHITECT PRIOR TO CONSTRUCTION/ INSTALLATION OF CONFLICTING ITEMS.
  7. PATCH ALL EXPOSED INTERIOR AND EXTERIOR WALLS WHERE ATTACHED OR IMBEDDED ITEMS WERE REMOVED.
  8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PREPARATION OF FLOOR, WALL, AND/OR CEILING SUBSTRATES FOR NEW FINISHES.
  9. MAINTAIN FIRE RATING AT ALL ASSEMBLIES WHERE OPENINGS PENETRATIONS, EMBEDMENT, RECESSED EQUIPMENT, ACCESSORIES, ETC. DISRUPT THE CONTINUITY OF THE RATING.
  10. REMOVE ADHESIVE AND/OR MORTAR LEFT FROM THE REMOVAL OF EXISTING FLOOR COVERING AND PREP FLOOR W/CONCRETE (OR FLORSTONE) AS NECESSARY TO ACCOMMODATE NEW FLOOR COVERINGS.
  11. ALL DIMENSIONS ARE FROM FACE OF WALL SHEATHING, C.M.U., OR CONCRETE, U.N.O.
  12. PROVIDE ISOLATION MATERIAL BETWEEN DISSIMILAR MATERIALS THAT ARE IN CONTACT WITH ONE ANOTHER.
  13. PATCH & REPAIR ALL MAJOR & MINOR BLEMISHES AS REQ'D. DUE TO DEMOLITION WORK. REPAIRS ARE TO MATCH ADJACENT MATERIAL & COLOR.
  14. PROVIDE SOLID, CONTINUOUS, NON COMBUSTIBLE BLOCKING AT LOCATIONS WHERE MILLWORK, PLUMBING FIXTURES, EQUIPMENT, ACCESSORIES, OR ETC. ATTACH TO WALLS OR CEILINGS.
  15. ALL PATCH & REPAIR WORK AT CMU PARTITIONS IS TO BE TOOTHED-IN.

- MASONRY NOTES:**
1. CONCRETE MASONRY UNITS (CMU) ARE TO CONFORM TO ASTM C-90.
  2. SEE SPECIFICATIONS FOR UNIT WEIGHT AND STRENGTH.
  3. ALL MASONRY REINFORCING SHALL BE PLACED AND SUPPORTED IN CONFORMANCE WITH THE PROVISIONS OF THE LATEST EDITION OF TMS 602/ACI 530.1/ASCE 6.
  4. ALL VERTICAL REINFORCING STEEL IN CMU WALLS SHALL BE CONTINUOUS FROM THE FOOTING TO THE BOND BEAM, AND TERMINATED IN END HOOKS. WHERE BOND BEAMS ARE NOT AT THE TOP OF A WALL, REINFORCING SHALL BE CONTINUOUS THROUGH THE BOND BEAM TO TOP WALL.
  5. ALL REINFORCING BARS MARKED "CONTINUOUS" SHALL BE SPLICED A MINIMUM OF 50 BAR DIAMETERS, BUT NOT LESS THAN 24 INCHES.
  6. ALL MASONRY WORK BELOW GRADE SHALL HAVE CORES GROUTED SOLID WITH GROUT CONFORMING TO ASTM C476. BELOW GRADE MASONRY SHALL USE TYPE M OR S MORTAR.
  7. MASONRY CONSTRUCTION AND MATERIALS SHALL CONFORM TO ALL REQUIREMENTS OF "SPECIFICATIONS FOR MASONRY STRUCTURES (ACI 530.1/ASCE-6/TMS-602)," EXCEPT AS MODIFIED BY THE REQUIREMENTS OF THESE CONTRACT DRAWINGS.

**ARCHITECTURAL KEYNOTES**

KEY VALUE	KEYNOTE TEXT
A5.2	CMU WALL WITH SOLID CMU CAP. INTERIOR OF CHILLER WALLS TO BE LINED WITH ACOUSTIC PANELING (SEE ALTERNATES).
A6.2	STEEL BOLLARD.
A8.2	MECHANICAL EQUIPMENT.
A9.2	ELECTRICAL EQUIPMENT.
A10.2	CHAIN LINK SWING GATE W/ PRIVACY SLATS.
A11.2	CHAIN LINK FENCE WITH MAN GATE.
A12.2	EXTERIOR ACOUSTIC PANEL.
A13.2	SALVAGED DOOR SIGNAGE. INSTALL 60" ABOVE FINISH FLOOR.
A16.2	EXTERIOR EQUIPMENT PAD FOR CHILLER. SEE DETAIL ON E-010.2.



KEY PLAN



(866) 454-3923 | WWW.C2AE.COM

FLOOR PLAN - FIRST LEVEL - AREA B  
 COIT CREATIVE ARTS ACADEMY  
 617 COIT AVE., GRAND RAPIDS, MI 49503

PHASE  
 CONSTRUCTION DOCUMENTS

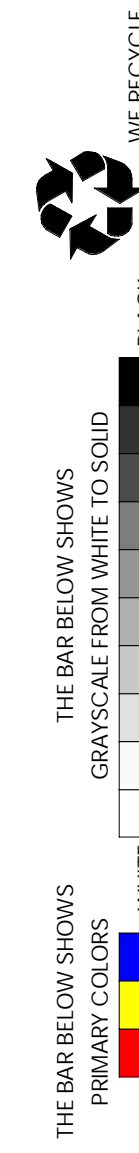
**ISSUANCES**

#	DESCRIPTION	DATE
0	CONSTRUCTION DOCUMENTS	23-AUG-2024
A02	ADDENDUM 2	20-SEP-2024

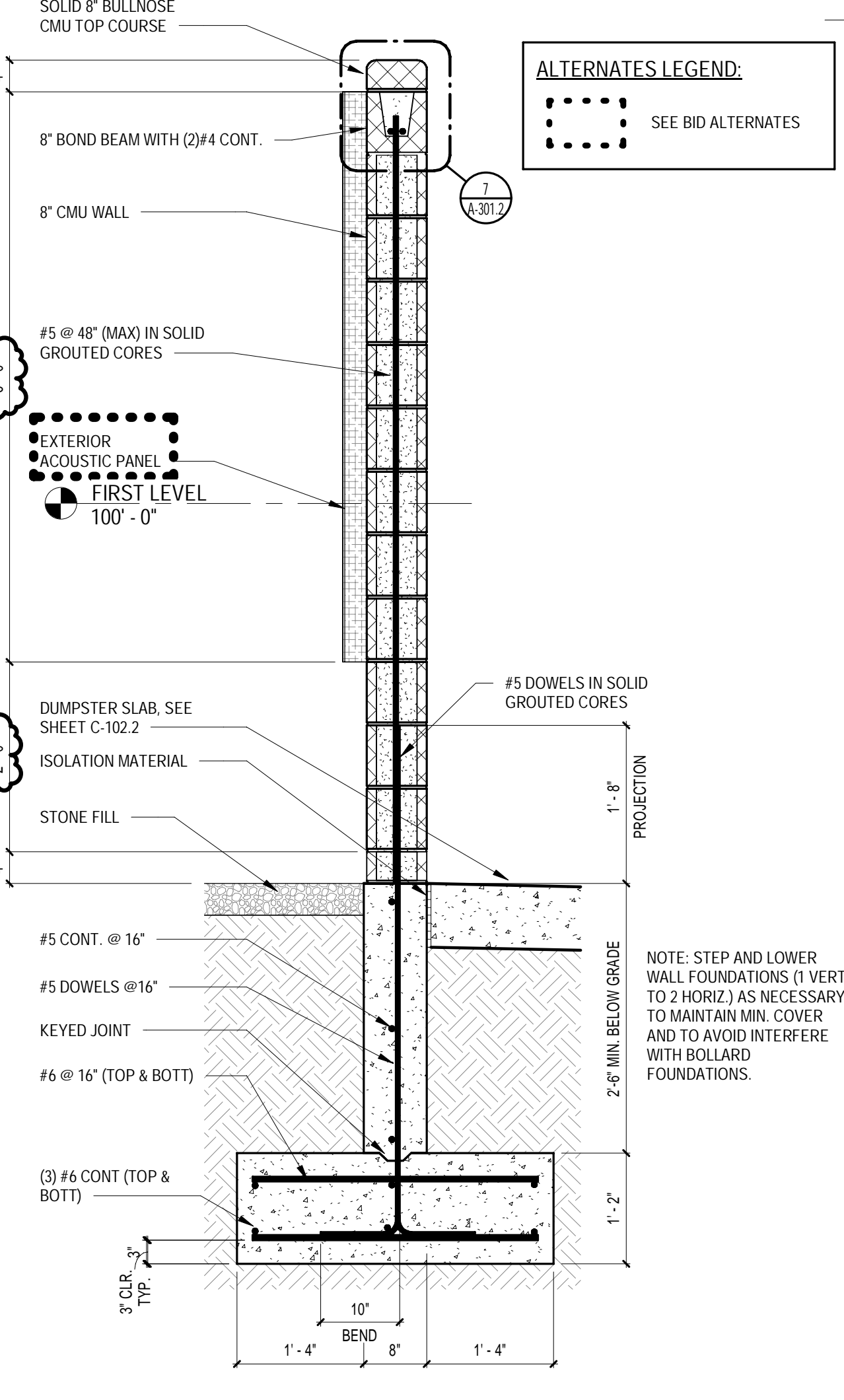
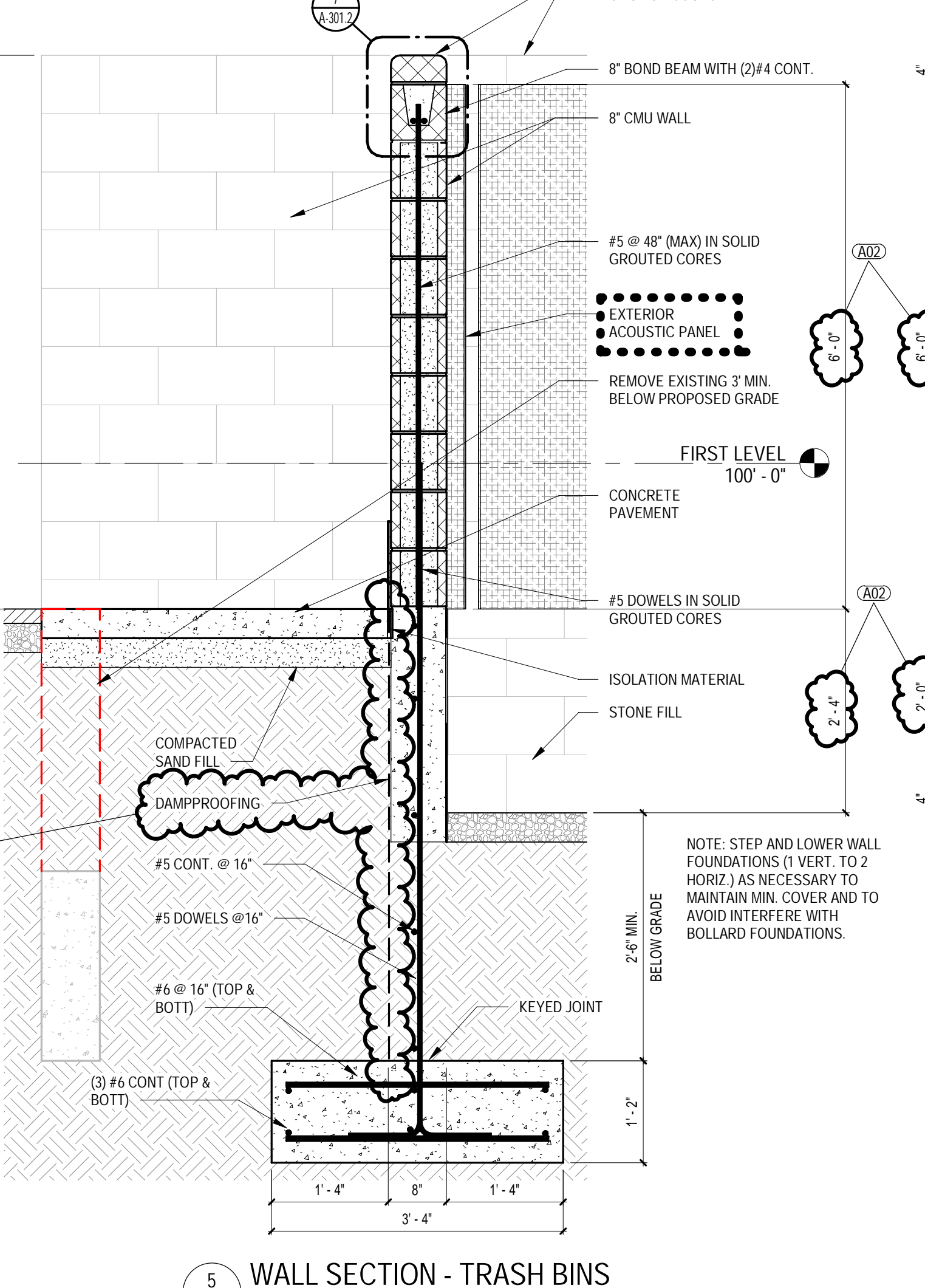
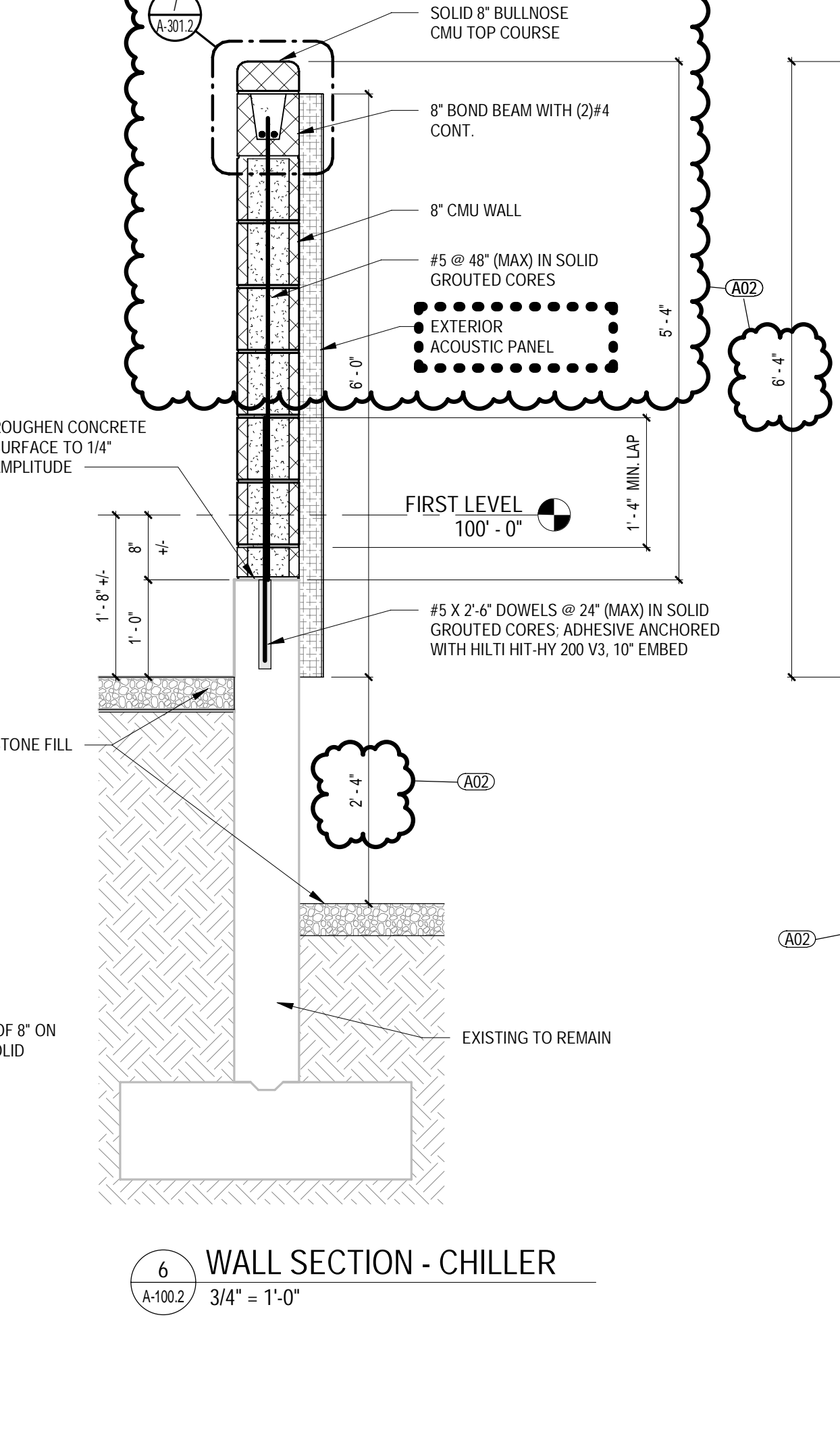
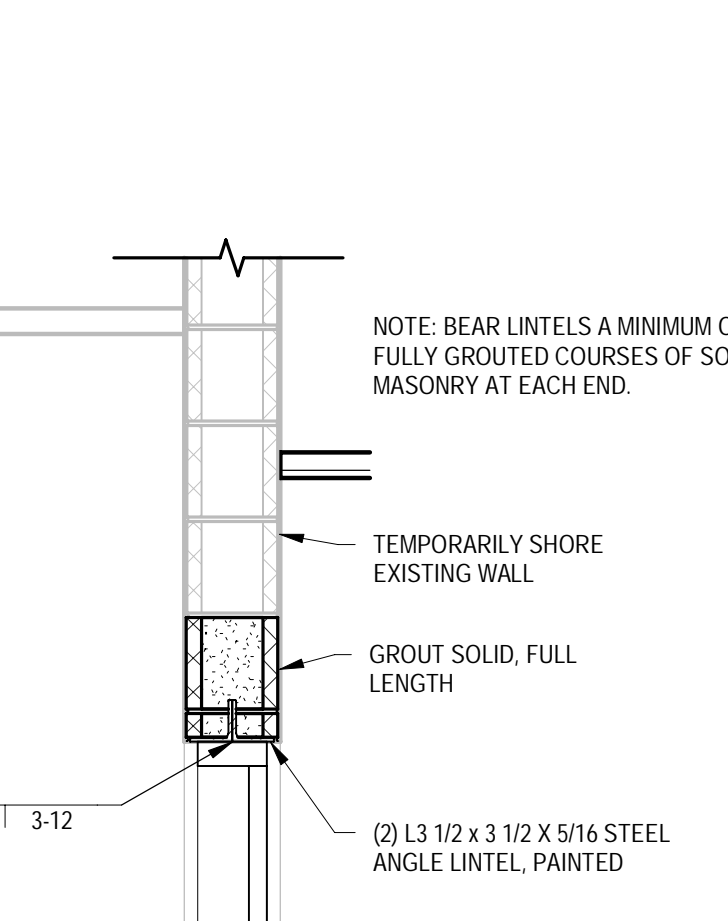
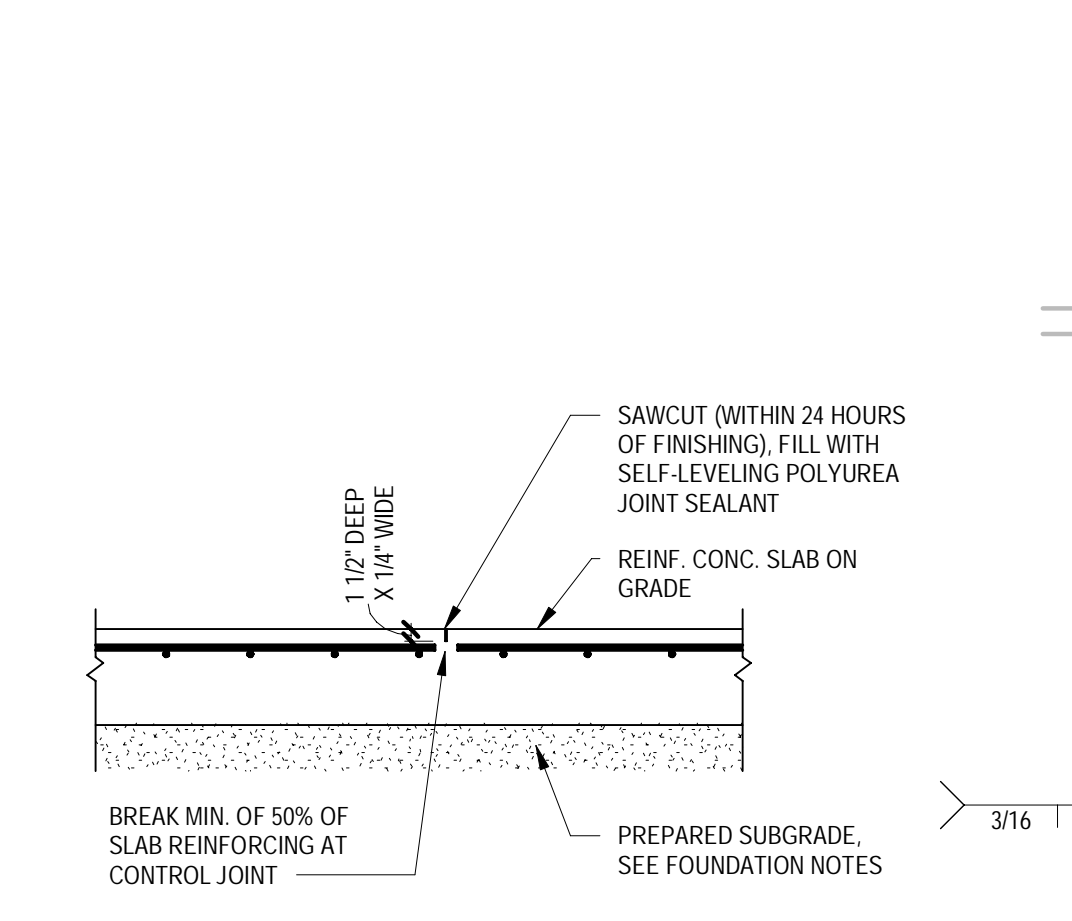
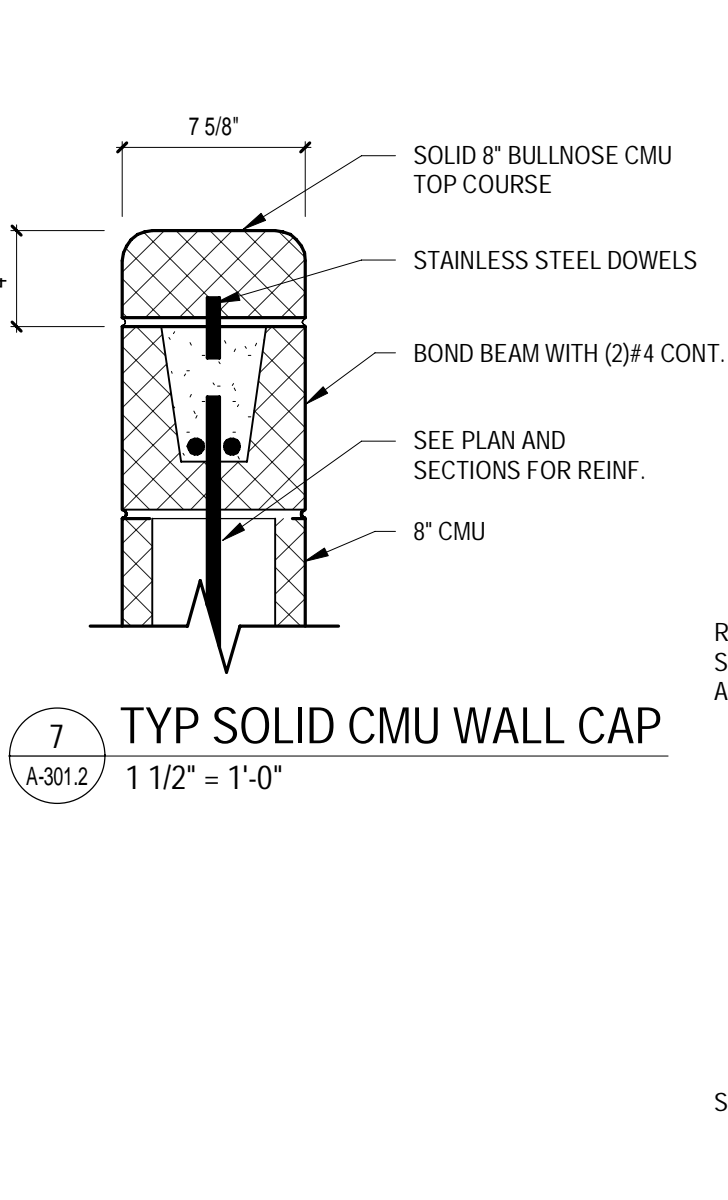
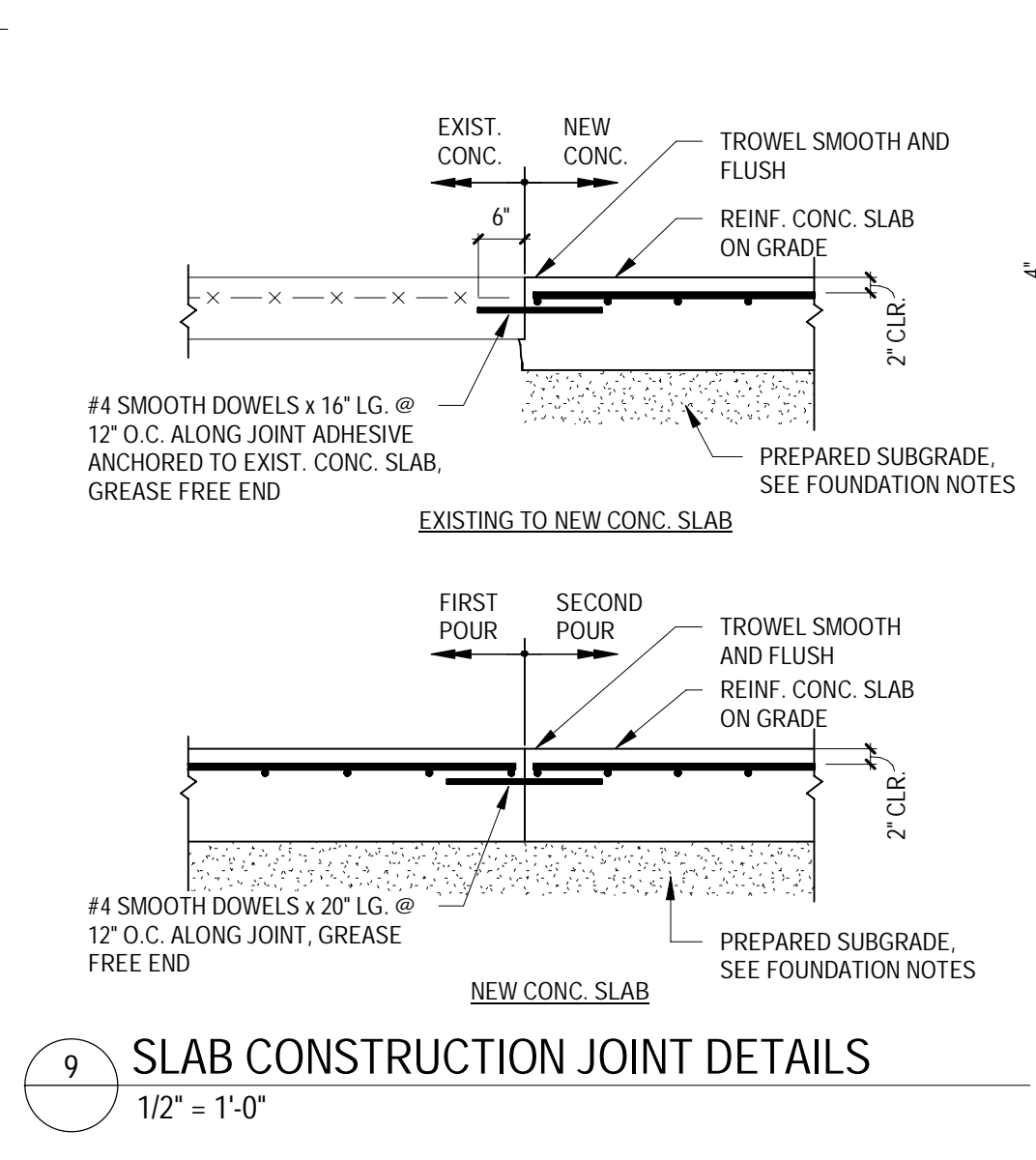
PROJ. #: 230458  
 COPYRIGHT C2AE.  
 NOT TO BE REPRODUCED OR DISTRIBUTED WITHOUT PRIOR WRITTEN CONSENT.  
 ALL RIGHTS RESERVED.

A-101B.2

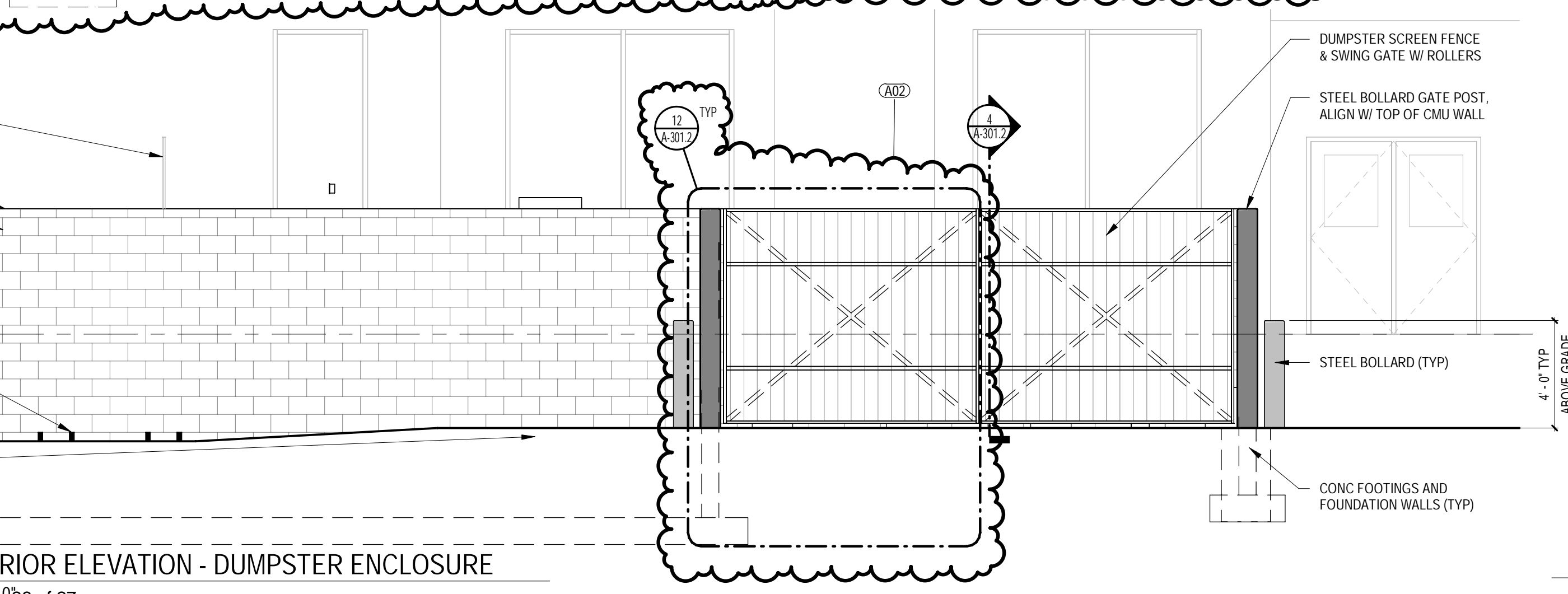
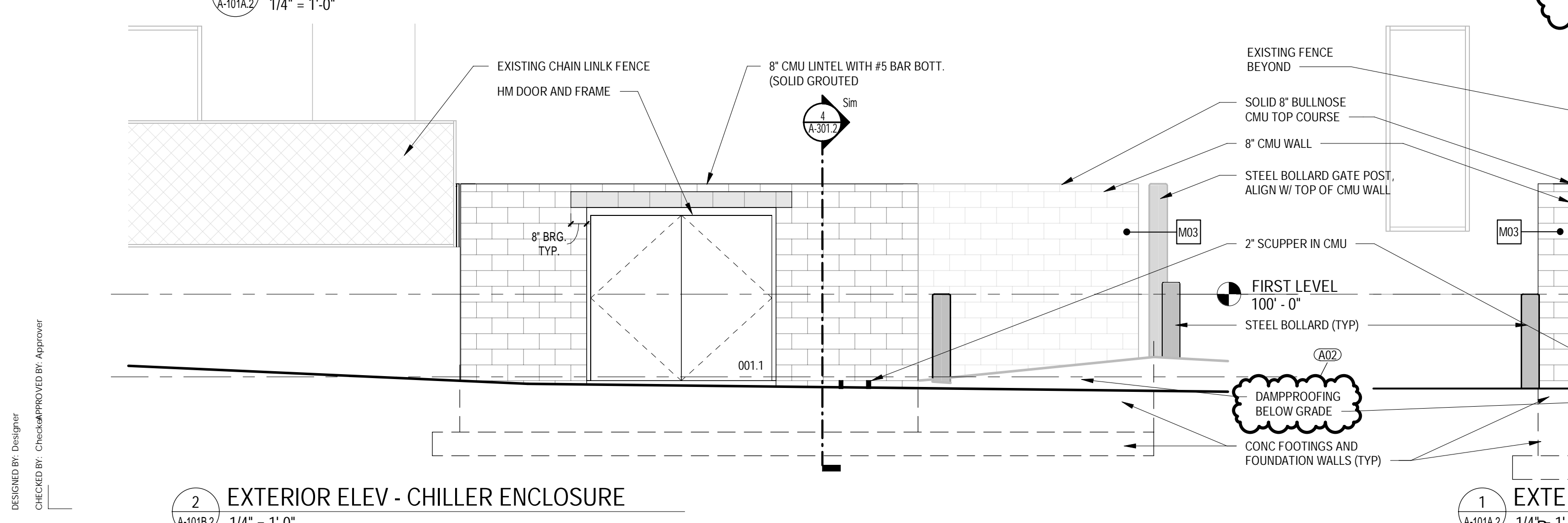
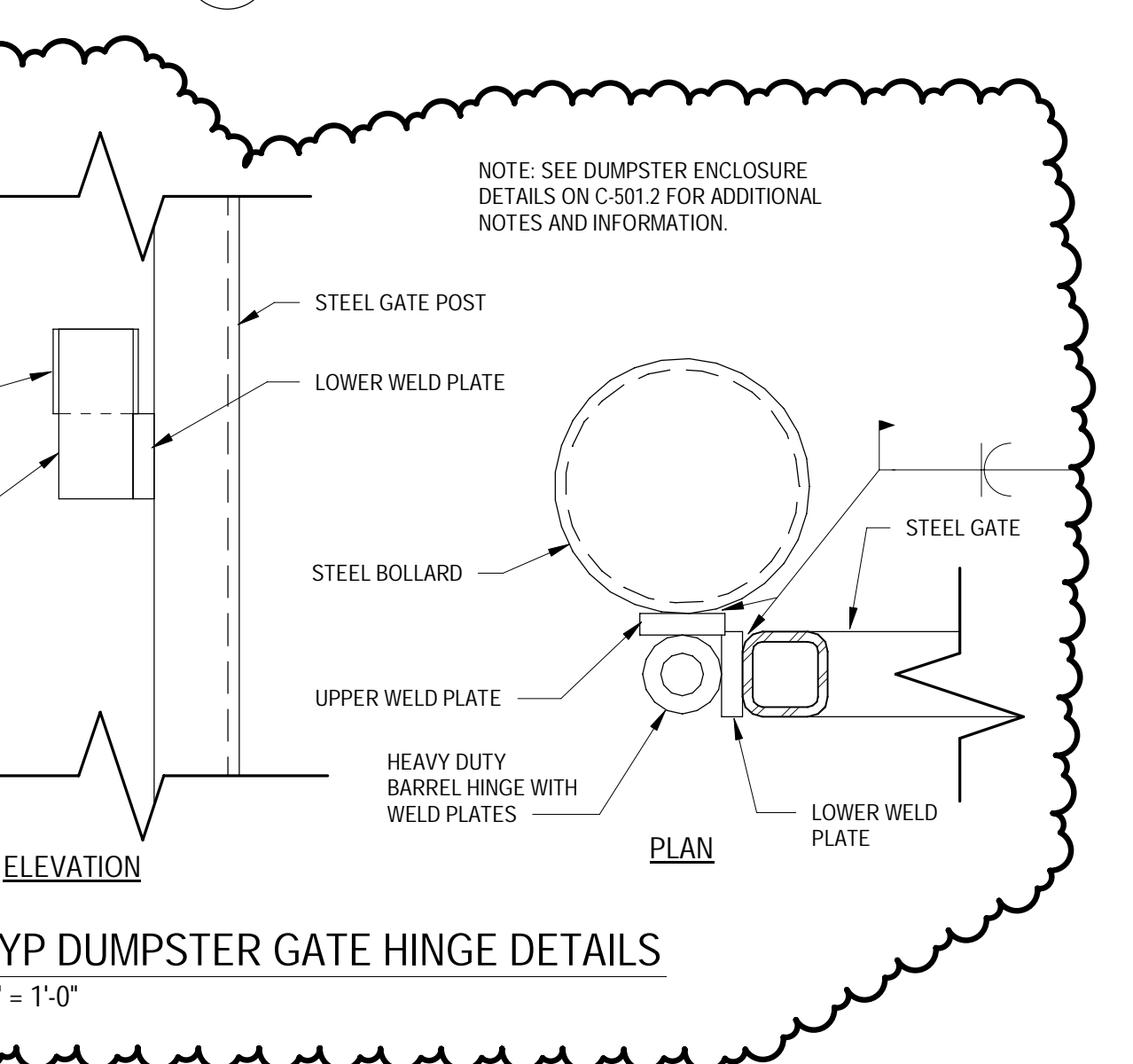
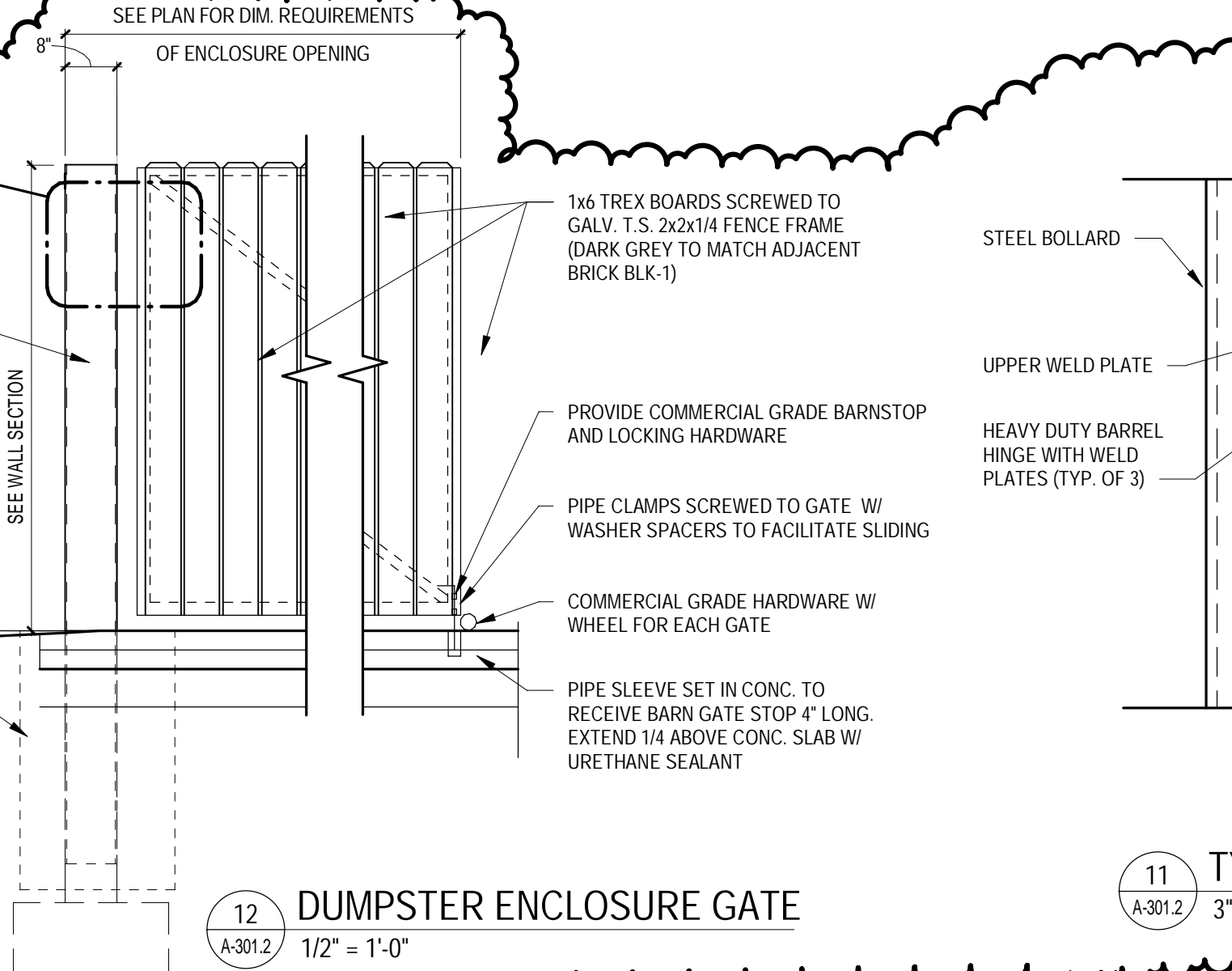
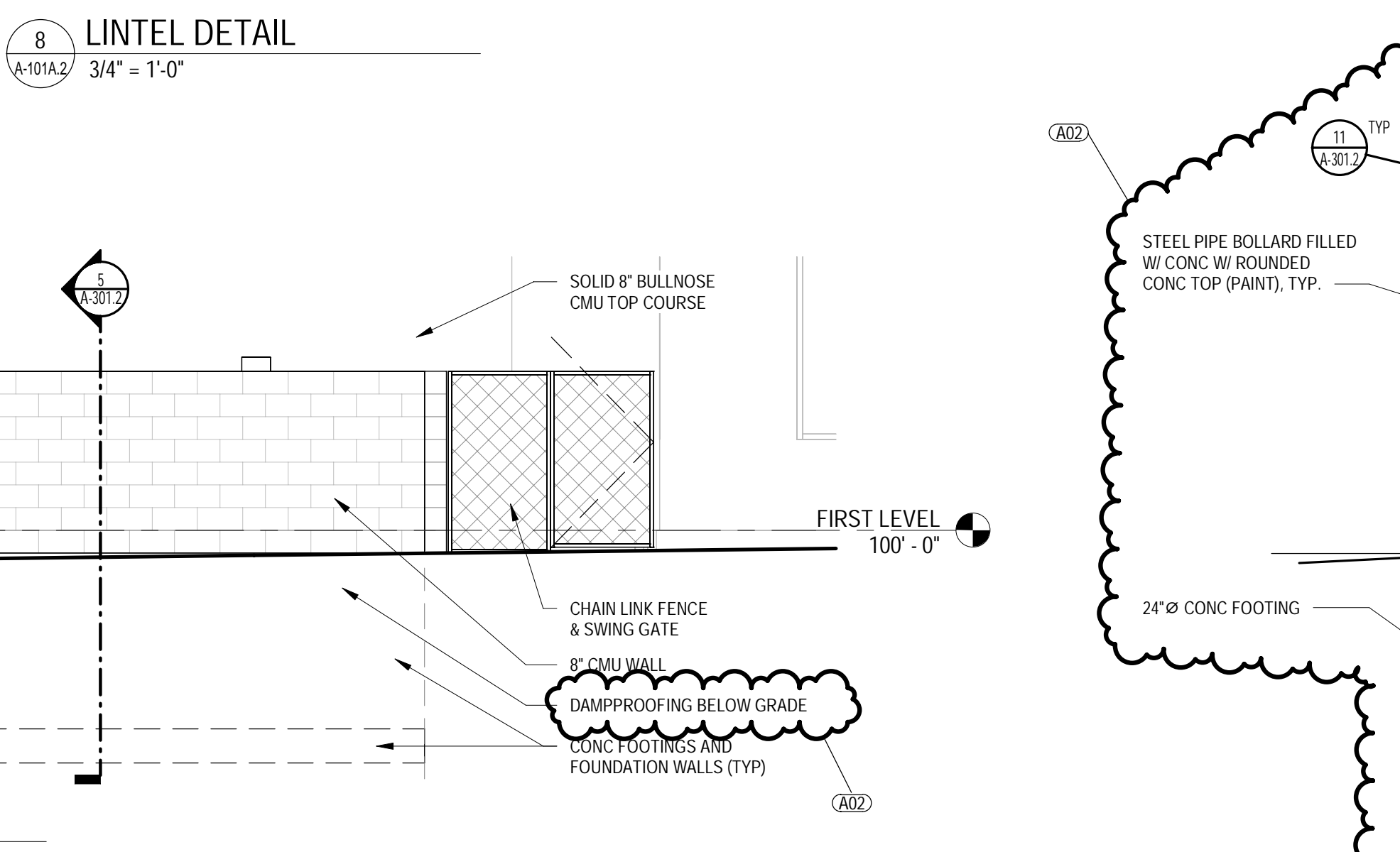
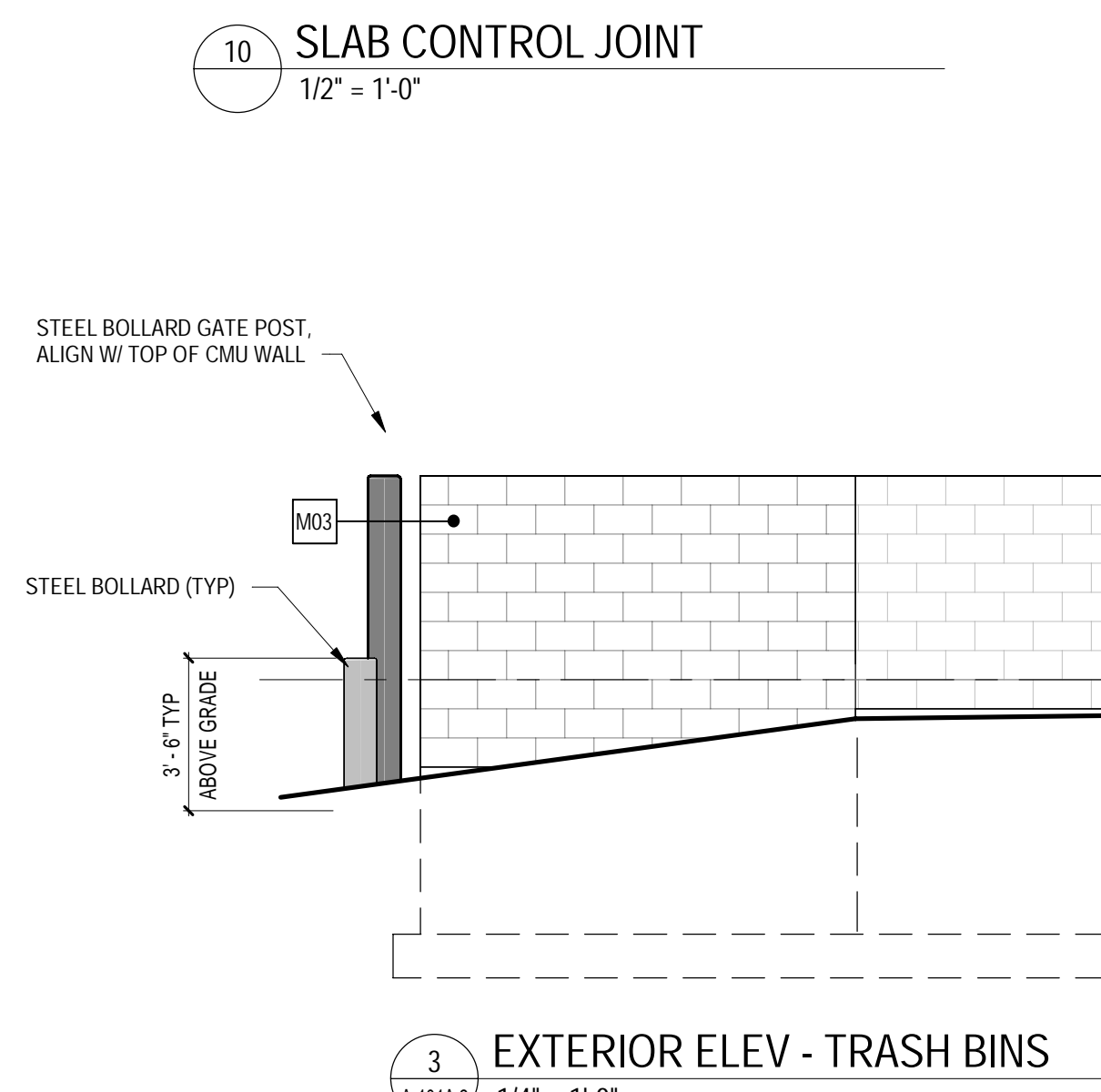




THE BAR BELOW SHOWS  
GRAYS/SCALE FROM WHITE TO BLACK  
PRIMARY COLORS  
WE RECYCLE



ALTERNATES LEGEND:  
SEE BID ALTERNATES



(866) 454-3923 | WWW.C2AE.COM

ELEVATIONS, WALL SECTIONS, AND DETAILS  
COIT CREATIVE ARTS ACADEMY  
617 COIT AVE., GRAND RAPIDS, MI 49503

PHASE  
CONSTRUCTION DOCUMENTS

ISSUANCES

#	DESCRIPTION	DATE
0	CONSTRUCTION DOCUMENTS 23-AUG-2024	
A02	ADDENDUM 2	20-SEP-2024

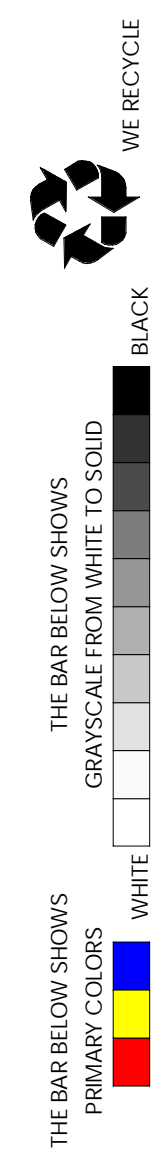
PROJ. #: 230458  
COPYRIGHT C2AE.  
NOT TO BE REPRODUCED OR DISTRIBUTED  
WITHOUT PRIOR WRITTEN CONSENT.  
ALL RIGHTS RESERVED.

A-301.2

Addendum #2

9/20/2024 12:37:03 PM  
Autodesk Docs/7230458 GRPS Coit Creative Arts Academy/230458\_A1v1  
DESIGNED BY: Designer  
CHECKED BY: Check/Approved By: Approver

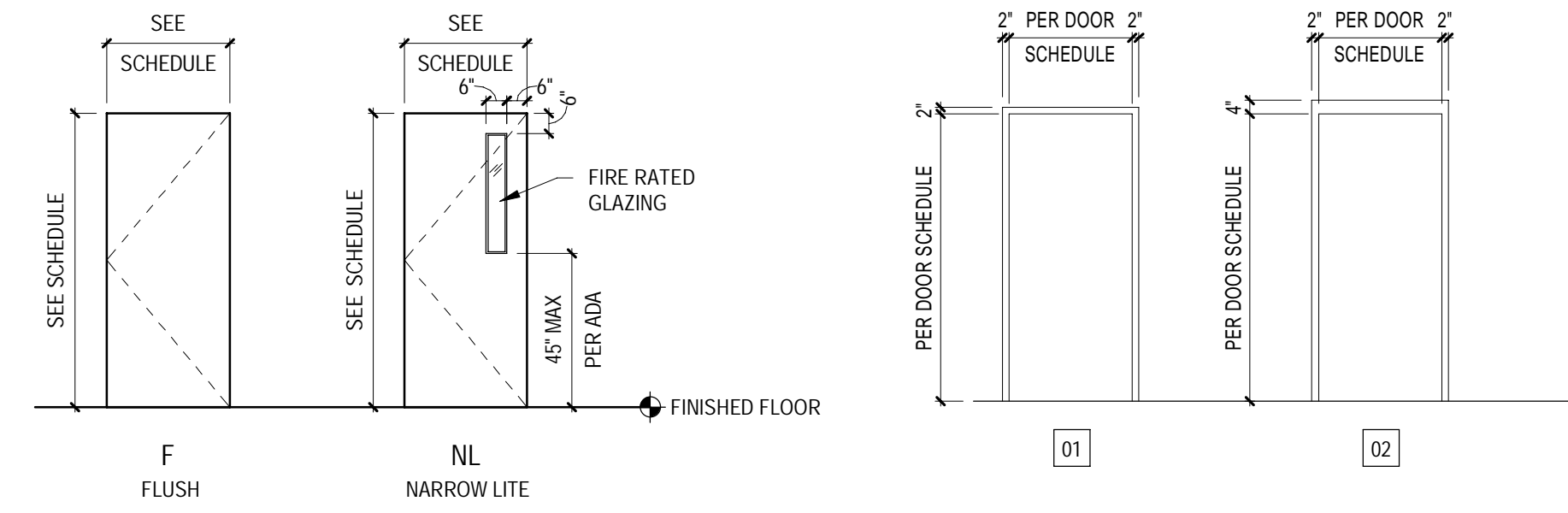




DOOR NO.	ROOM NO.	ROOM NAME	DOOR				FRAME			FIRE RATING	HARDWARE SET NO.	NOTES		
			SIZE		MATL	TYPE	MATL	TYPE	DETAIL					
			WD.	HGT					HEAD				JAMB	SILL
FIRST LEVEL														
001.1	001	CHILLER	7'-8"	7'-0"	HM	F	HM	02	H3	J3		03		
102A.1	102A	FAMILY RESTROOM	3'-0"	7'-0"	WD	F	HM	02	H1	J1		01		
02.1 SECOND LEVEL (ADDITION)														
208.1	208	MEDIA CENTER (READING)	3'-0"	7'-0"	WD	NL	HM	01	H2	J2		20 MN	04	SMOKE SEALS
208.2	208B	VESTIBULE	3'-0"	7'-0"	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST		90 MN	05	SMOKE SEALS, 180 DEGREE SWING, AND ELECTRONIC HOLD OPEN
209.1	209B	TESTING	3'-0"	7'-0"	WD	NL	HM	01	H2	J2		20 MN	02	SMOKE SEALS

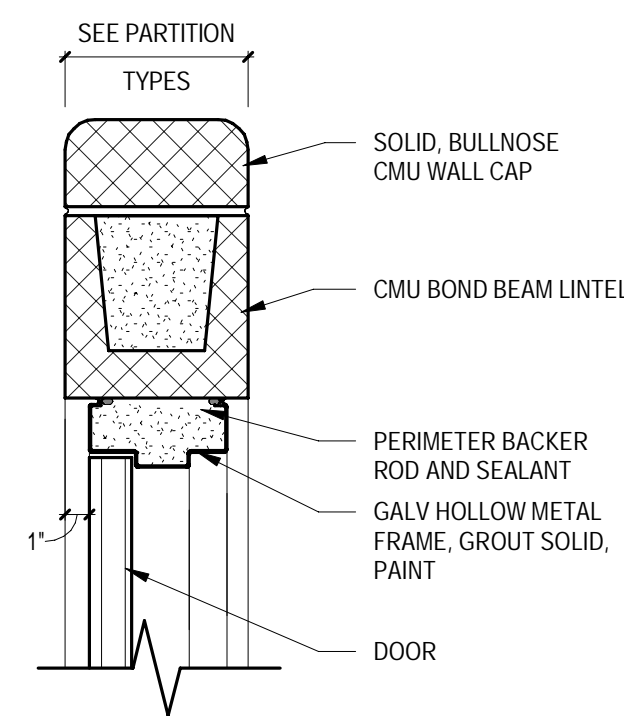
**DOOR & FRAME GENERAL NOTES**

- ALL EXTERIOR HOLLOW METAL DOORS AND FRAMES ARE TO BE GALVANIZED.
- ALL DOOR FRAMES SHALL HAVE BACKER ROD & SEALANT AT ENTIRE PERIMETER (BOTH SIDES), U.N.O.
- REFER TO SPECIFICATIONS FOR HARDWARE SETS.
- ALL OUTSIDE DIMENSIONS OF FRAME TYPES ARE ROUGH OPENING SIZES, AND ARE TO BE FIELD VERIFIED.
- MAINTAIN 4" MIN BETWEEN EDGE OF DOOR JAMB (HINGE SIDE) AND THE NEAREST PERPENDICULAR SURFACE, U.N.O.
- STYLES & DIMENSIONS FOR DOOR TYPES & LITES ARE REFLECTING DESIGN INTENT. DOOR MANUFACTURER TO SUBMIT THEIR STANDARD TYPES PER SPECIFICATIONS, U.N.O.
- HM = HOLLOW METAL
- WD = WOOD
- RO = ROUGH OPENING
- EX-(MATERIAL) = DENOTES EXISTING MATERIAL REFERENCED

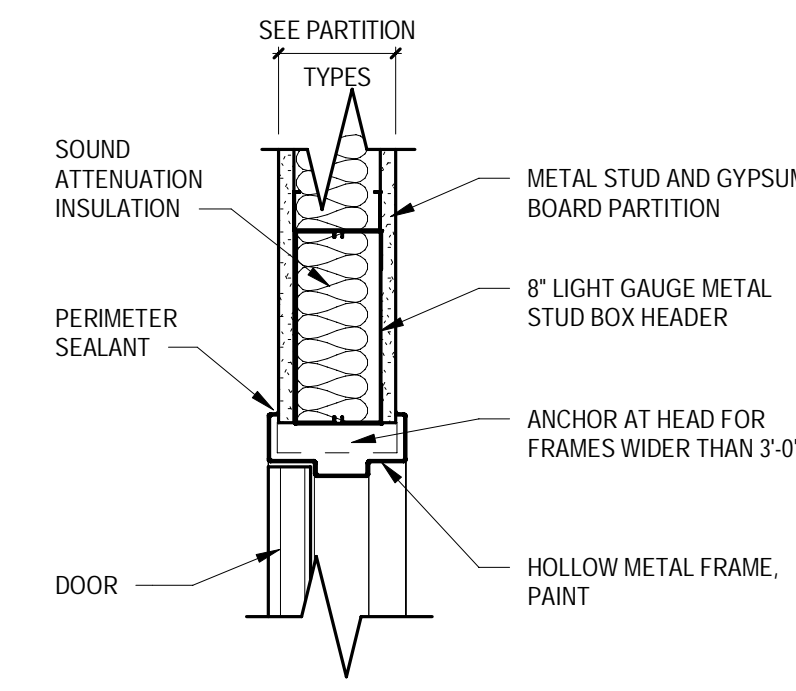


**DOOR TYPES**  
1/4" = 1'-0"

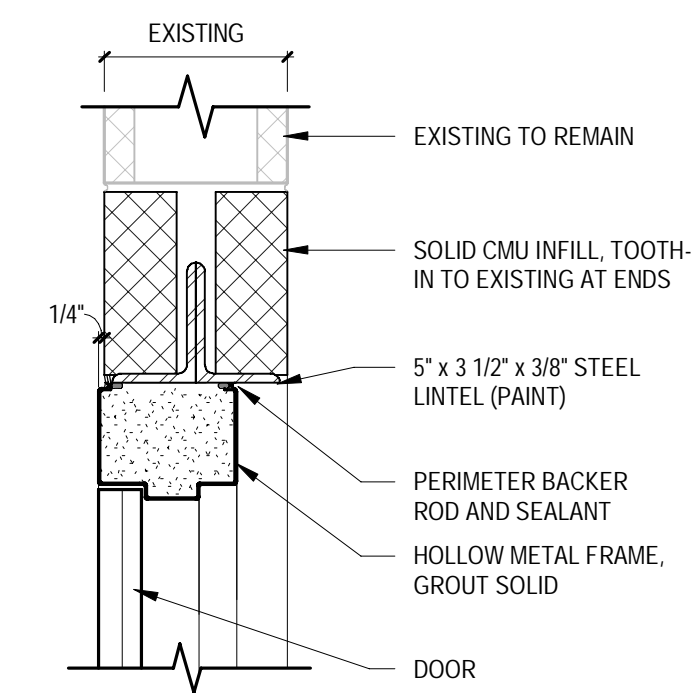
**FRAME TYPES**  
1/4" = 1'-0"



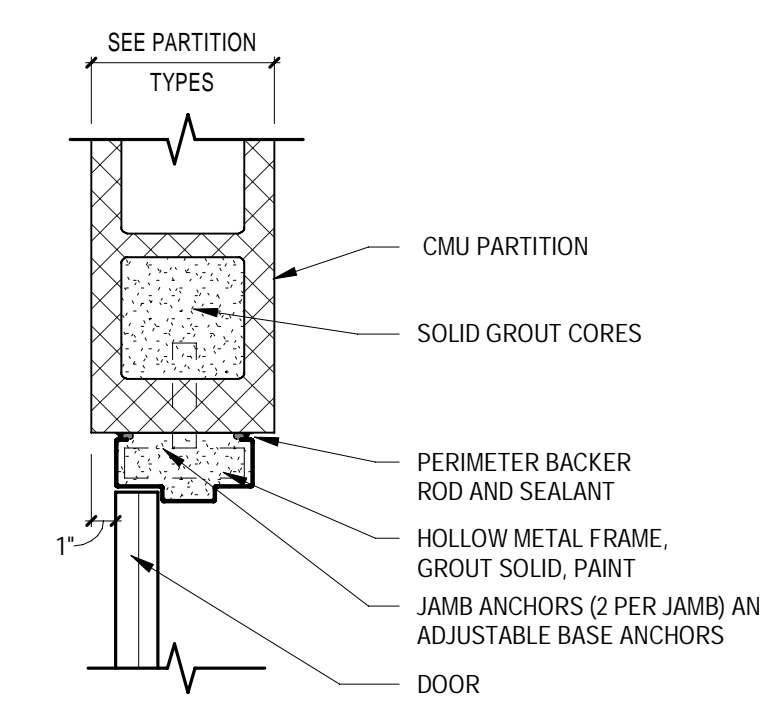
**H3** HM DOOR HEAD @ NEW CMU  
1 1/2" = 1'-0"



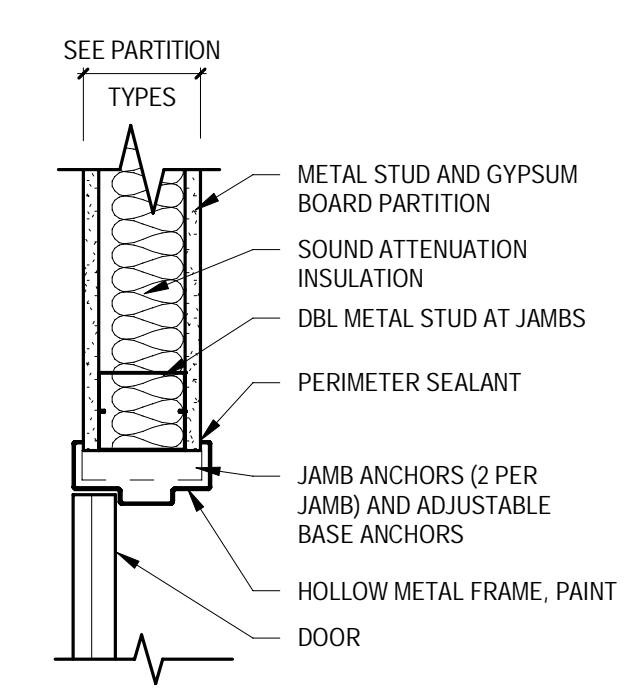
**H2** HM DOOR HEAD @ METAL STUDS  
1 1/2" = 1'-0"



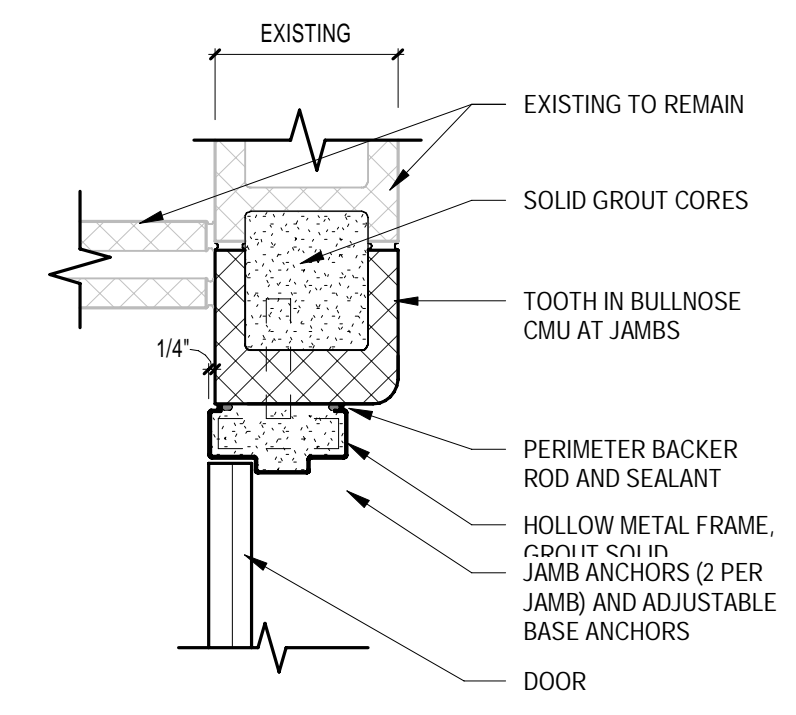
**H1** HM DOOR HEAD @ EXISTING CMU  
1 1/2" = 1'-0"



**J3** HM DOOR JAMB @ NEW CMU  
1 1/2" = 1'-0"



**J2** HM DOOR JAMB @ METAL STUDS  
1 1/2" = 1'-0"



**J1** HM DOOR JAMB @ EXISTING CMU  
1 1/2" = 1'-0"



(866) 454-3923 | WWW.C2AE.COM

**DOOR SCHEDULES & DIAGRAMS**  
**COIT CREATIVE ARTS ACADEMY**  
**617 COIT AVE., GRAND RAPIDS, MI 49503**

**PHASE**  
CONSTRUCTION DOCUMENTS

**ISSUANCES**

#	DESCRIPTION	DATE
0	CONSTRUCTION DOCUMENTS	23-AUG-2024
A02	ADDENDUM 2	20-SEP-2024

PROJ. #: 230458  
 COPYRIGHT C2AE.  
 NOT TO BE REPRODUCED OR DISTRIBUTED WITHOUT PRIOR WRITTEN CONSENT.  
 ALL RIGHTS RESERVED.

**A-601.2**

Addendum #2