

APPLICABLE CODES AND STANDARDS

APPLICABLE CODES	EDITION:
BUILDING CODES:	
MICHIGAN BUILDING CODE (MBC)	2015
NFPA 101 - LIFE SAFETY CODE (NFPA)	2012
ICC A117.1 - ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES (ANSI)	2017
MICHIGAN ENERGY CODE	2015
FIRE CODE:	
INTERNATIONAL FIRE CODE (IFC)	2015
PLUMBING CODE:	
MICHIGAN PLUMBING CODE (MPC)	2021
MECHANICAL CODES:	
MICHIGAN MECHANICAL CODE (MMC)	2021
MICHIGAN BOILER CODE RULES	2013
ELECTRICAL CODE:	
NFPA 70 - NATIONAL ELECTRICAL CODE (NEC)	2023

CODE SUMMARY

CODE SUMMARY IS BASED ON THE FOLLOWING CRITERIA:

- EXISTING BUILDING MEETS THE REQUIREMENTS OF NFPA 101, 2012, CHAPTER 15-EXISTING EDUCATIONAL
- BUILDING IS A MIXED USE, NON-SEPARATED OCCUPANCY.

TYPE OF CONSTRUCTION:

- III (200) (NFPA or IFC) / 3B (MBC or IBC)

OCCUPANCY CLASSIFICATION:

- E EDUCATION (UNCHANGED)

BUILDING AREAS:

	Aa	At	(NS x #)
ALLOWABLE:	68,875 SF	58,000 SF	(14,000 x 75)
EXISTING BUILDING AREA:	91,100 SF		
RENOVATION BUILDING AREA:	89,364 SF		
NEW BUILDING AREA:	2,838 SF		
NO INCREASES TO PRE-EXISTING NON-COMFORMING BUILDING AREA.			
ADDITION FIRE SEPARATED FROM EXISTING			

FLOOR AREAS:

	83,046 SF	
FIRST LEVEL:		
EXISTING:	1,736 SF	
ALTERATION LEVEL 1:	41,284 SF	
ALTERATION LEVEL 2:	31,607 SF	
ADDITION:	1,419 SF	
LOWER LEVEL:		
ALTERATION LEVEL 2:	9,473 SF	
ADDITION:	1,419 SF	
LEVEL 2 ALTERATION WORK AREA IS 45% OF TOTAL BUILDING AREA		

AUTOMATIC SPRINKLER SYSTEM:

- EXISTING BUILDING AND RENOVATION ARE TO BE SPRINKLERED THROUGHOUT.
- NEW ADDITIONS TO BE FULLY FIRE SPRINKLERED.

FIRE ALARM SYSTEM AND SMOKE DETECTION:

- YES. RENOVATION AND NEW ADDITION ARE TO BE INTO EXISTING FIRE ALARM SYSTEM.

EGRESS REQUIREMENTS:

- MINOR CHANGES OR RESTRICTIONS TO EXISTING EXIT ACCESS COMPONENTS
- MINOR CHANGES TO EXISTING TRAVEL DISTANCES

OCCUPANCY LOAD:

LAB W/ GAS:	=	1 HOUR
LABS WITH 3 OR MORE GAS:	=	REMOTE SHUT OFF REQUIRED
MEANS OF EGRESS (DOORS):	=	0.2' / OCCUPANT
MEANS OF EGRESS (STAIRS):	=	0.3' / OCCUPANT
MAX LENGTH DEAD END CORRIDOR:	=	50' MAX
MAX TRAVEL DISTANCE BETWEEN EXITS:	=	200' MAX

SMOKE COMPARTMENT AREA

- NO EXISTING SMOKE COMPARTMENTS
- NEW FIRE SPRINKLER SYSTEM MAKES BUILDING EXEMPT PER NFPA 15.3.7.2 (2)

FIRE CODE RATINGS

	SMOKE BARRIER PARTITION		EXISTING SMOKE BARRIER PARTITION
	1-HR. FIRE RATED WALL		EXISTING 1-HR. FIRE RATED WALL
	2-HR. FIRE RATED WALL		EXISTING 2-HR. FIRE RATED WALL
	3-HR. FIRE RATED WALL		EXISTING 3-HR. FIRE RATED WALL

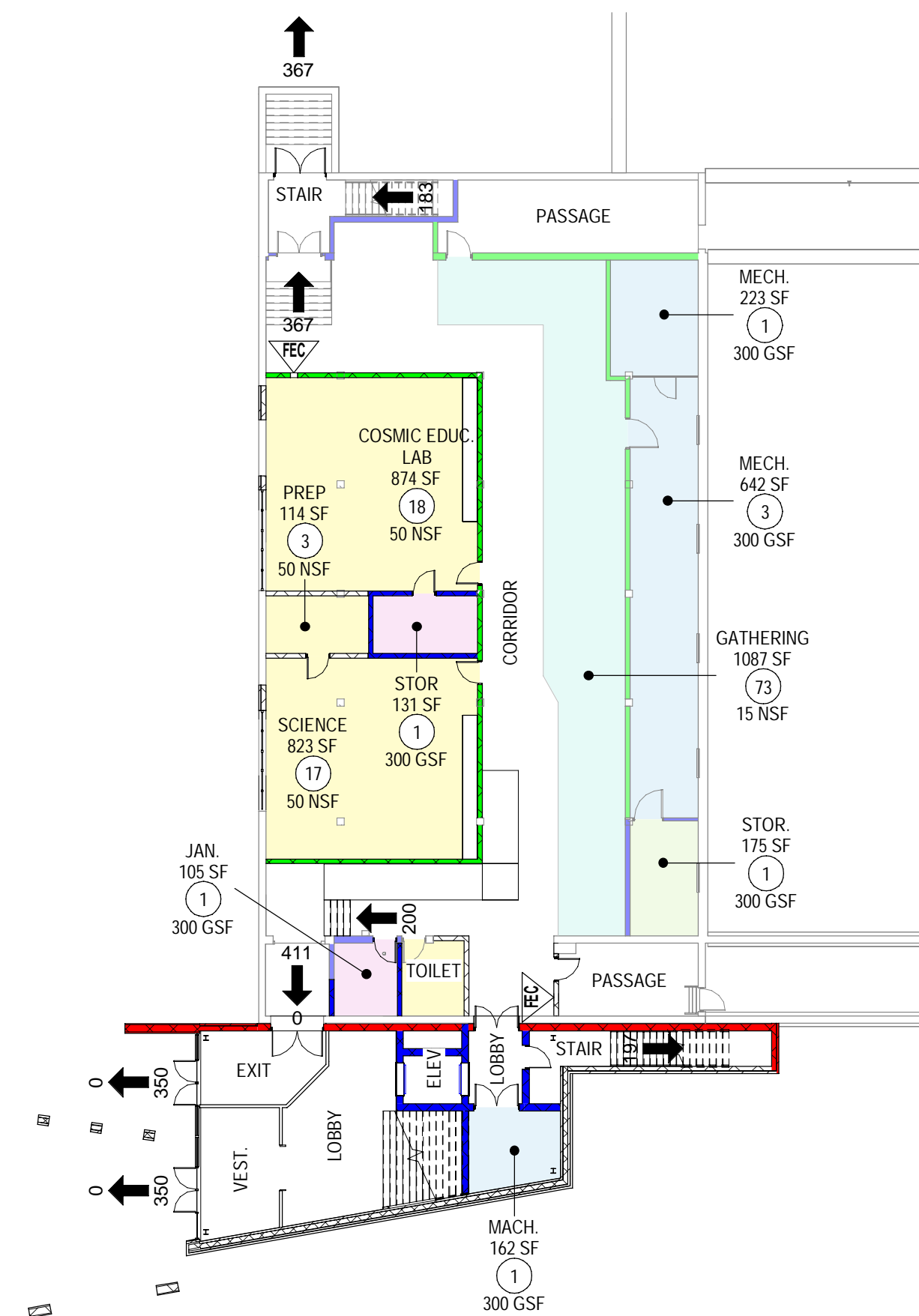
NOTE: EXISTING RATED WALL SHOWN SCREENED ON PLAN - V.I.F. WALLS MEET DESIGNATED REQUIREMENTS & ADD OPENING & PENETRATION PROTECTIVE AS REQ'D

SYMBOL LEGEND

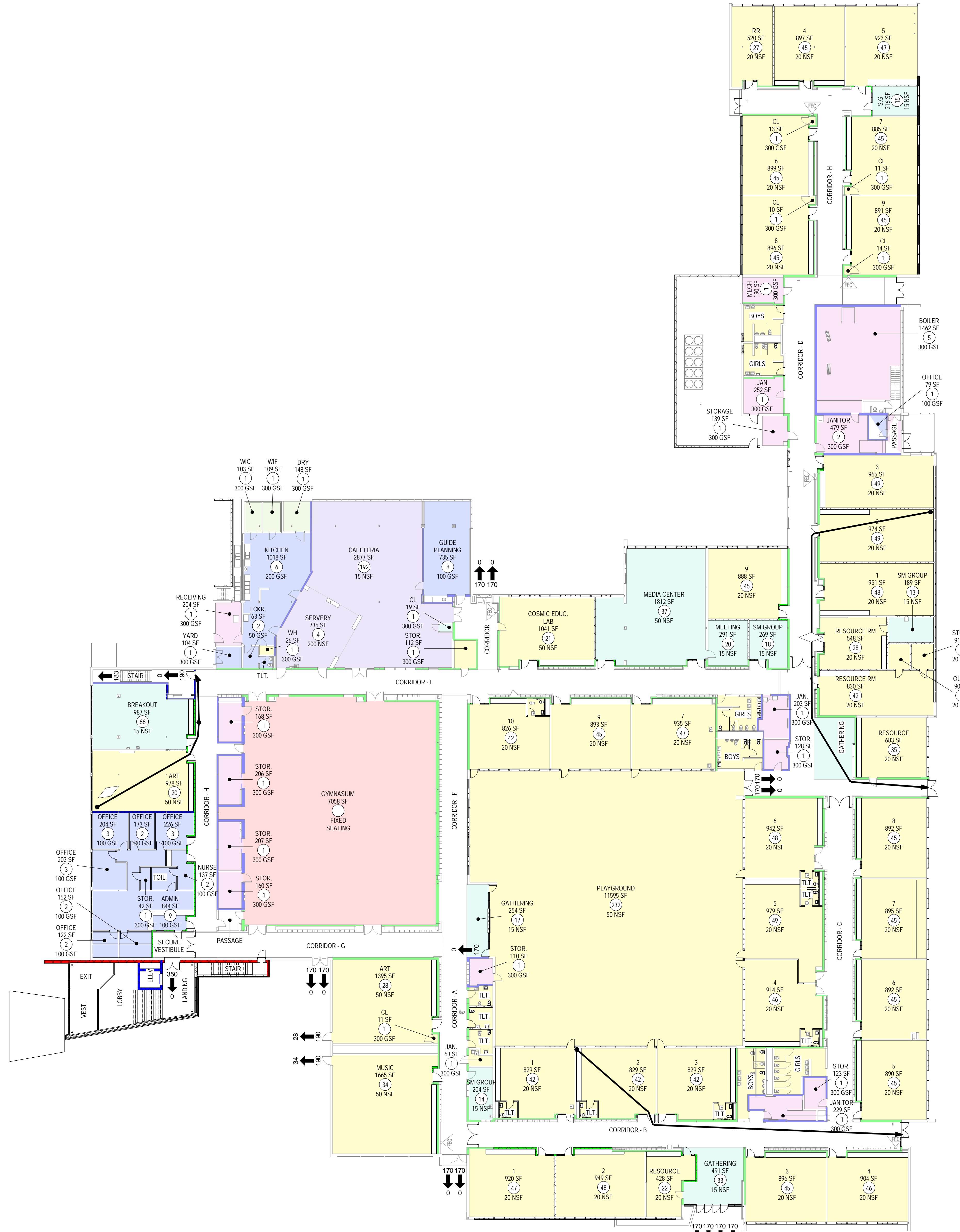
	ROOM NAME		ROOM OCCUPANCY TAG
	ROOM AREA		EXIT / EGRESS DOOR TAG
	OCCUPANT LOAD		EGRESS PATH OF TRAVEL COMPUTATION
	AREA PER OCCUPANT		SMOKE BARRIER / FIRE RATED WALL TAG
	ACTUAL EGRESS LOAD		FIRE EXTINGUISHER CABINET / FIRE EXTINGUISHER (WALL BRACKET)
	EGRESS CAPACITY		HORIZONTAL EXIT
	TRAVEL PATH TAG		
	TRAVEL PATH END		
	TRAVEL PATH START		

ROOM OCCUPANCY CLASSIFICATION

	ASSEMBLY - A2		EDUCATION - E
	ASSEMBLY - A3		MECHANICAL
	ASSEMBLY - A4		STORAGE - S1
	BUSINESS - B		STORAGE - S2



LIFE SAFETY PLAN - LOWER LEVEL
1" = 20'-0"



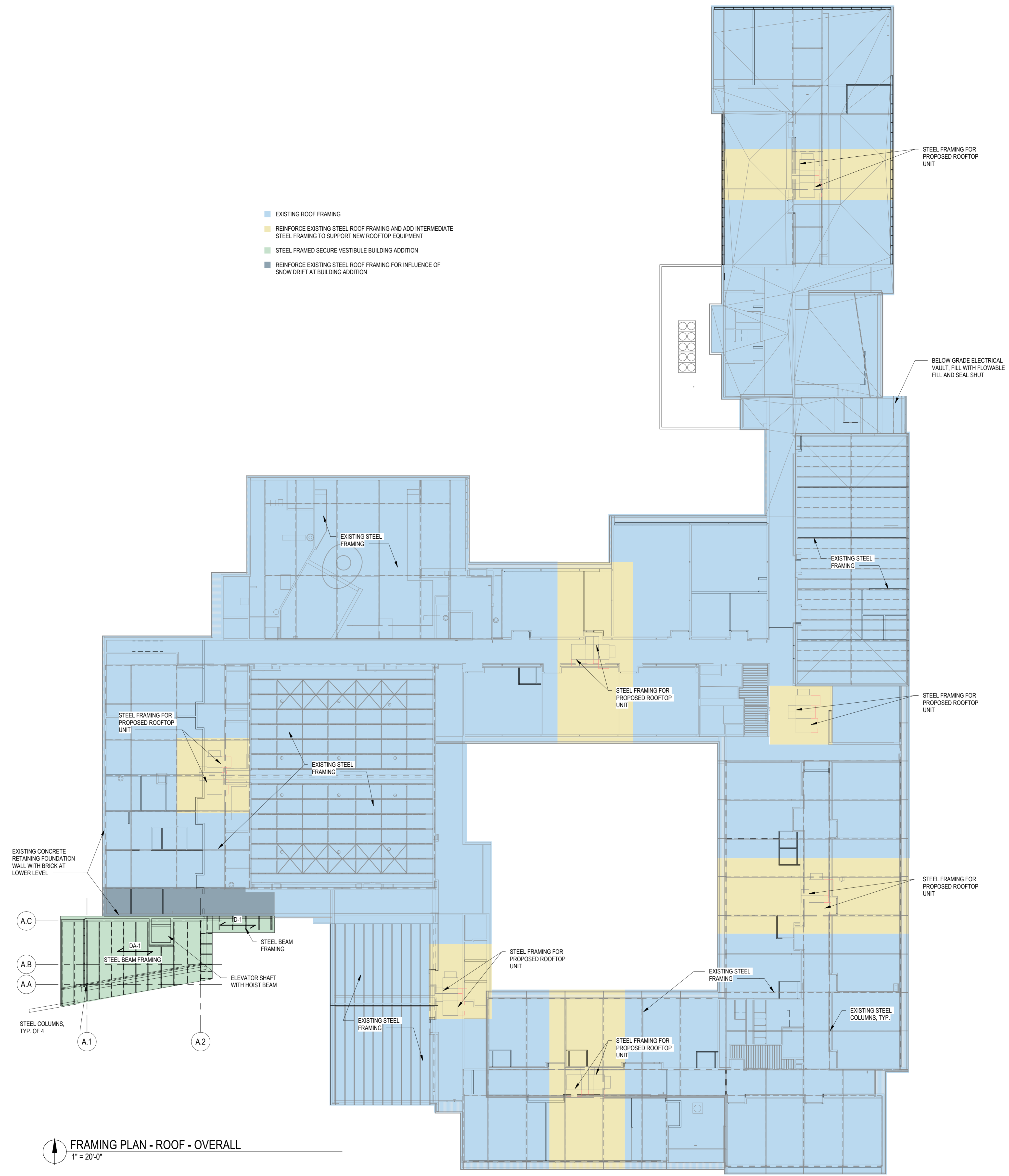
LIFE SAFETY PLAN - FIRST LEVEL
1" = 20'-0"

SD - LIFE SAFETY PLANS

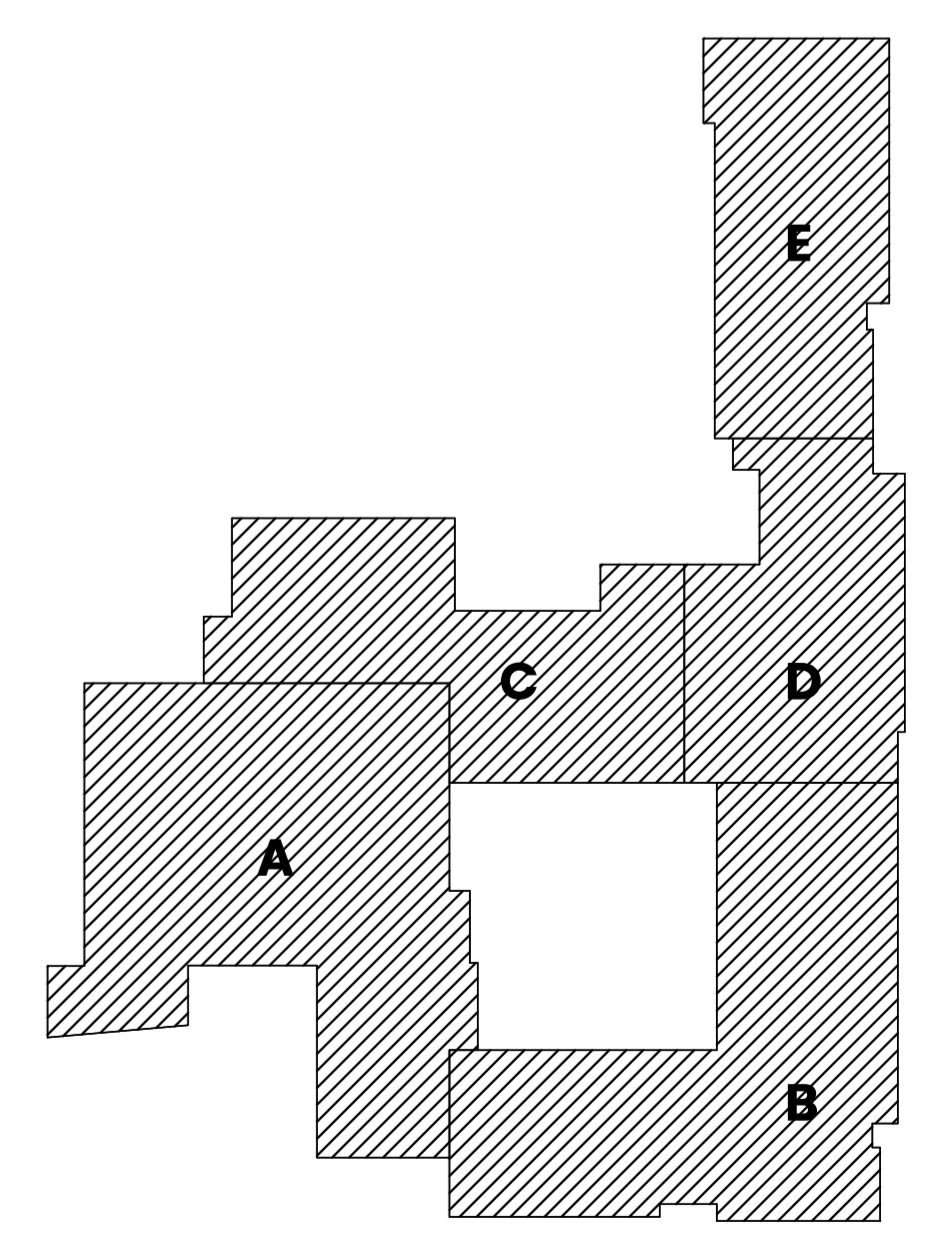
GRAND RAPIDS PUBLIC SCHOOLS RIVERSIDE MONTESSORI

27-JAN-2025





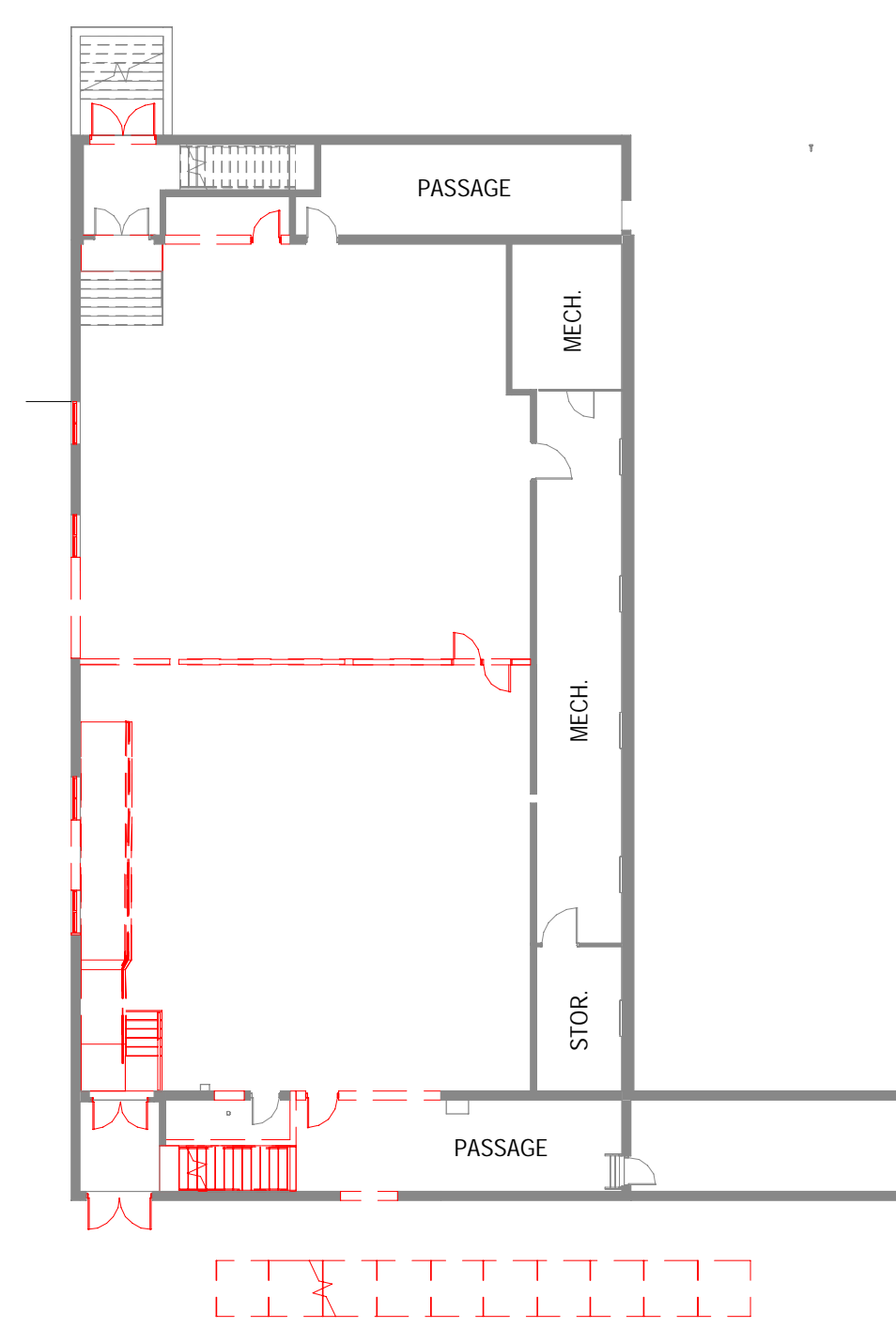
ROOF DECK	
MARK	DESCRIPTION
D-1	1.58-36, 20 GA. (1 1/2" TYPE B, GRADE 50 STEEL) METAL ROOF DECK. FASTEN TO END SUPPORTS W/ H.L.T.I. POWDER ACTUATED FASTENERS, AND WITH SIDELAP CONNECTORS. (2) SPAN MINIMUM.
DA-1	1.58A-36, 20 GA. (1 1/2" TYPE B, GRADE 50 STEEL) ACOUSTICAL METAL ROOF DECK. FASTEN TO END SUPPORTS W/ H.L.T.I. POWDER ACTUATED FASTENERS, AND WITH SIDELAP CONNECTORS. (2) SPAN MINIMUM.
FASTENERS: X-ENP-19 LLS FOR BASE STEEL THICKNESS 1/4" OR GREATER X-HSN-24 FOR BASE STEEL THICKNESS LESS THAN 1/4"	



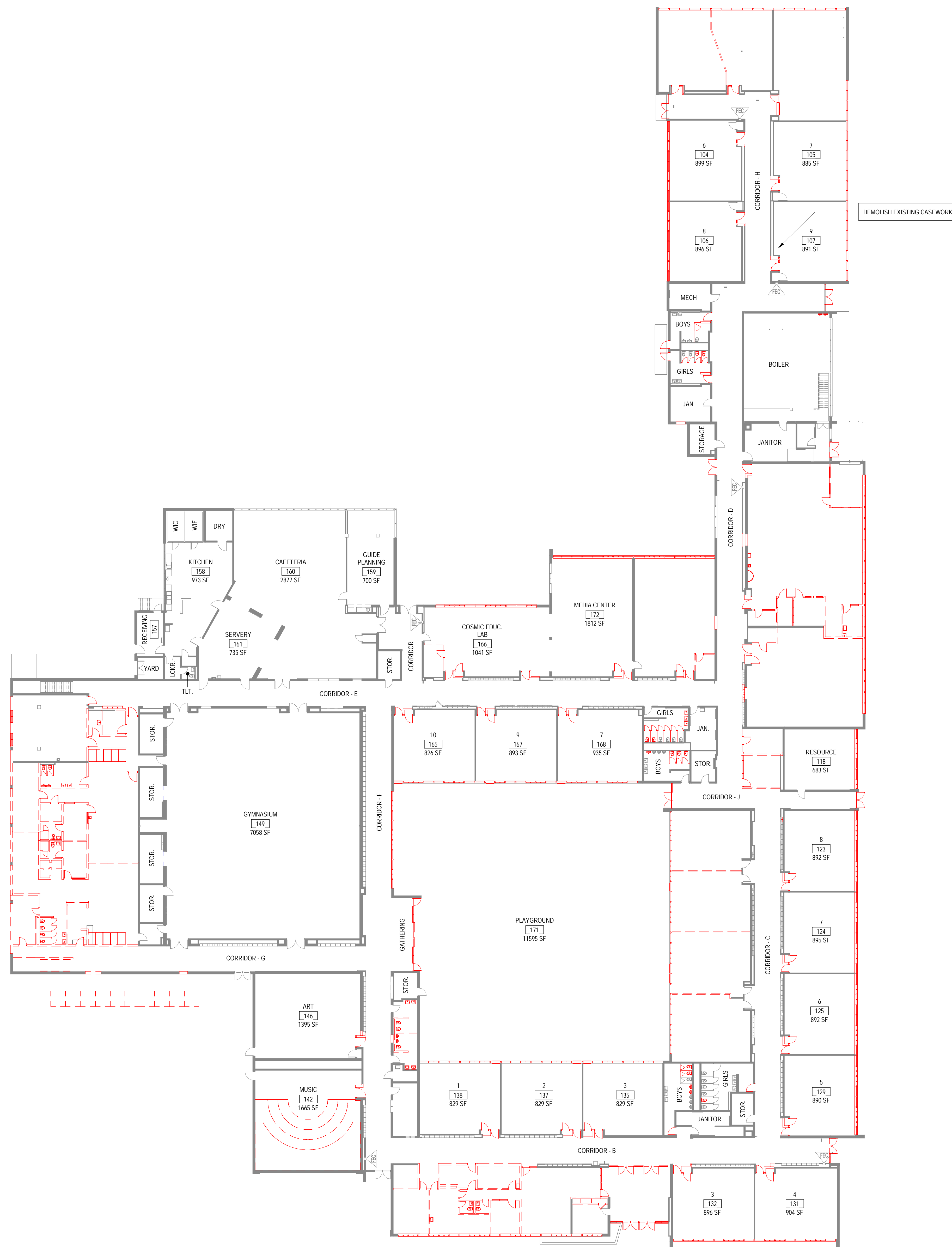
FRAMING PLAN - ROOF - OVERALL

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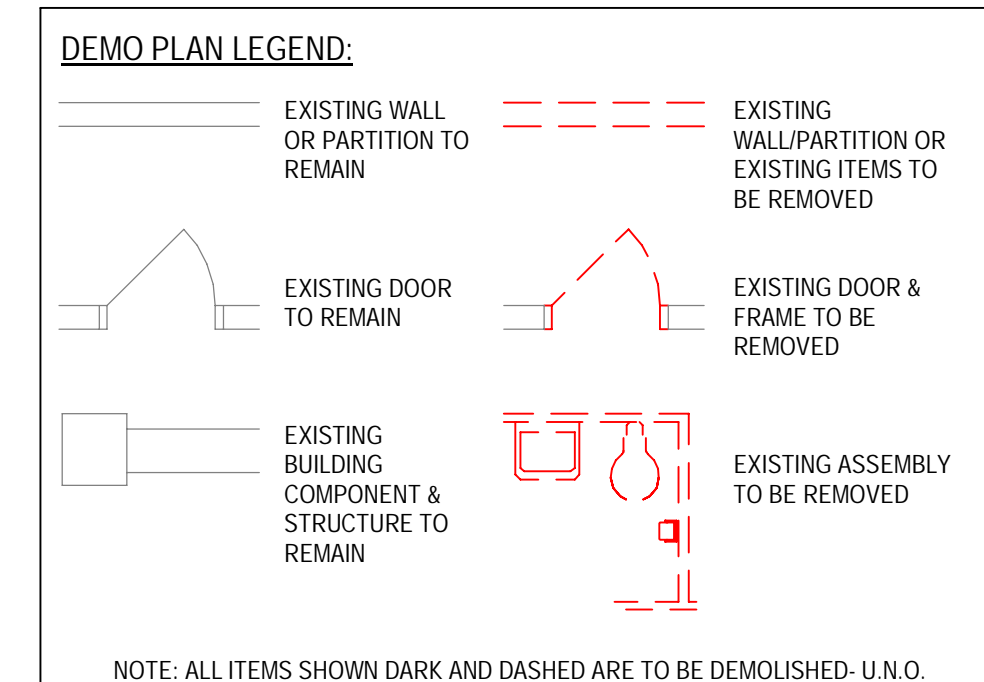




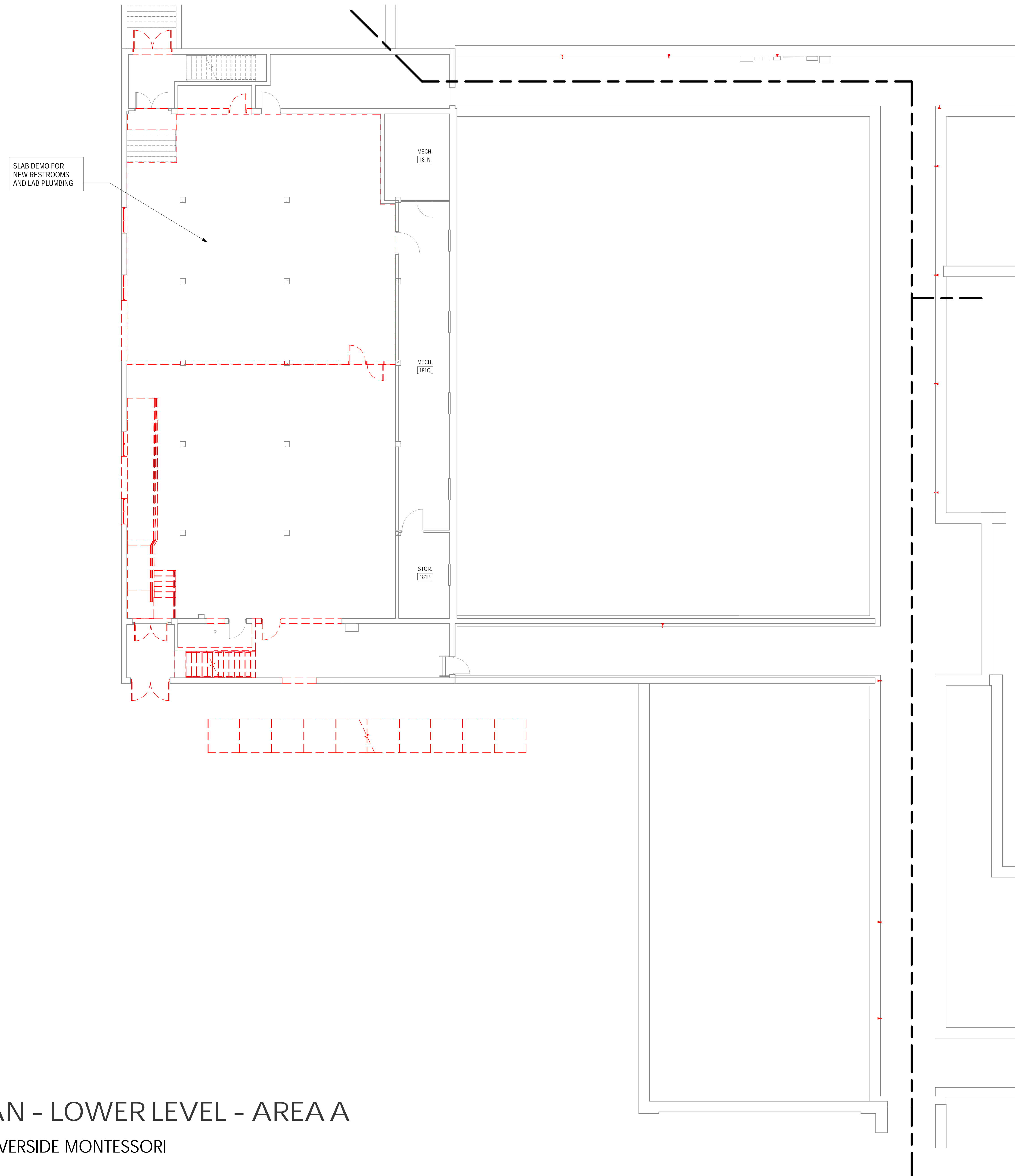
DEMOLITION PLAN - LOWER LEVEL - OVERALL
1" = 20'-0"



DEMOLITION PLAN - FIRST LEVEL - OVERALL
1" = 20'-0"



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 2. REFER TO ALL CONTRACT DOCUMENTS, INCLUDING SPECIFICATIONS, FOR ADDITIONAL DEMOLITION NOTES AND INFORMATION.
 3. SHORE AND BRACE ALL WORK REQUIRED TO REMAIN.
 4. CONTRACTORS SHALL VISIT THE SITE PRIOR TO SUBMITTING A BID TO BECOME FAMILIAR WITH EXISTING CONDITIONS.
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 6. U.N.O. PATCH AND PREPARE FLOOR W/ CONCRETE (OR FLORSTONE) TO FLUSH WITH ADJACENT FLOOR SURFACE. FILL ANY SLOPING OR RECESSED AREAS TO LEVEL WITH TYPICAL FINISH FLOOR ELEVATION TO ACCOMMODATE NEW FLOOR COVERINGS.
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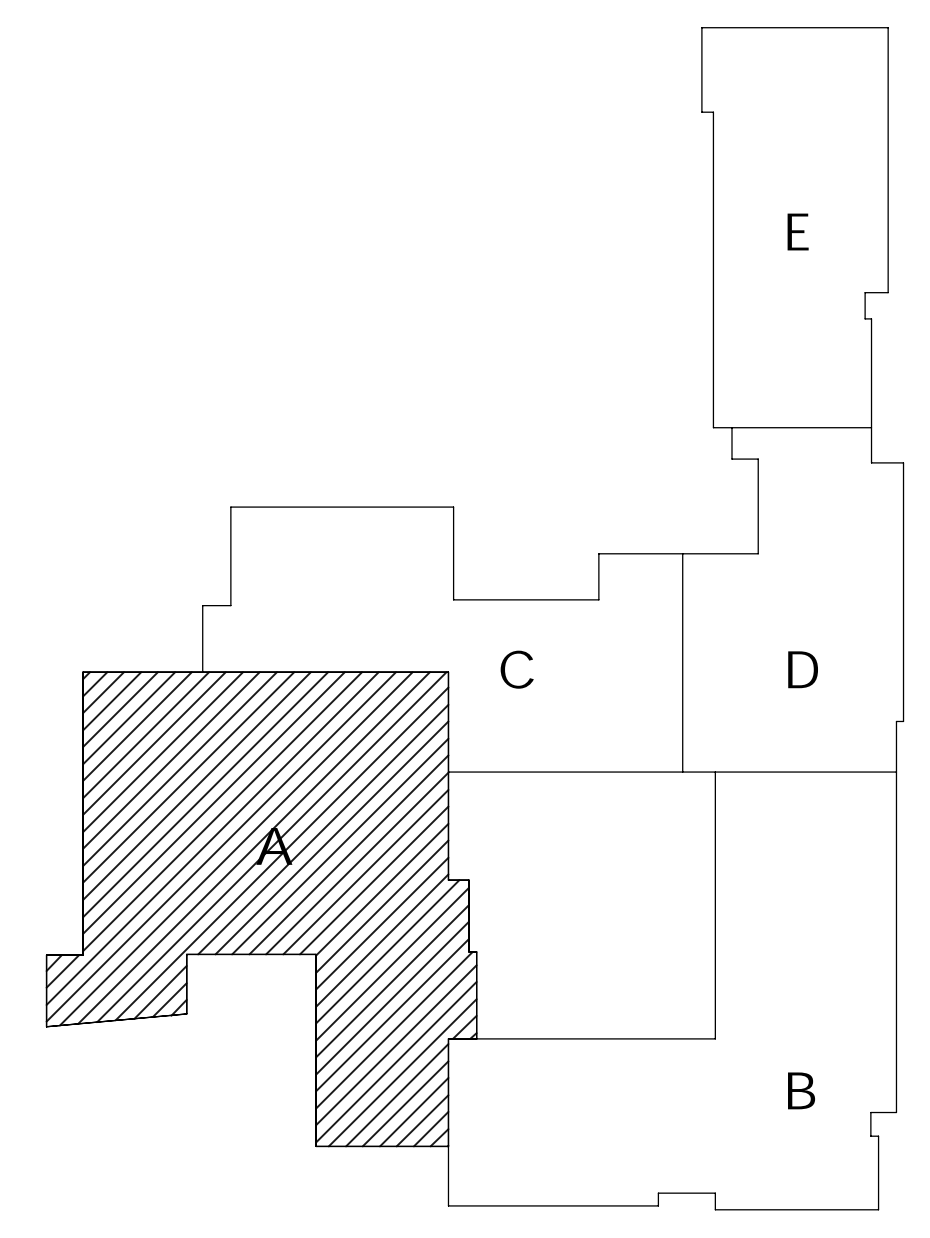


DEMO PLAN LEGEND:

	EXISTING WALL OR PARTITION TO REMAIN		EXISTING WALL/PARTITION OR EXISTING ITEMS TO BE REMOVED
	EXISTING DOOR TO REMAIN		EXISTING DOOR & FRAME TO BE REMOVED
	EXISTING BUILDING COMPONENT & STRUCTURE TO REMAIN		EXISTING ASSEMBLY TO BE REMOVED

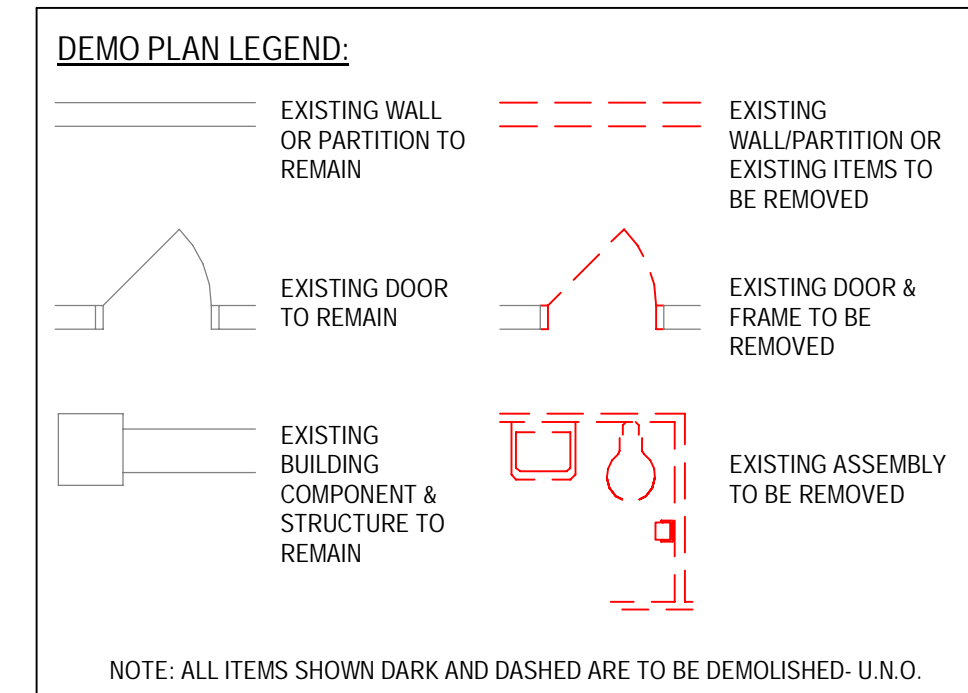
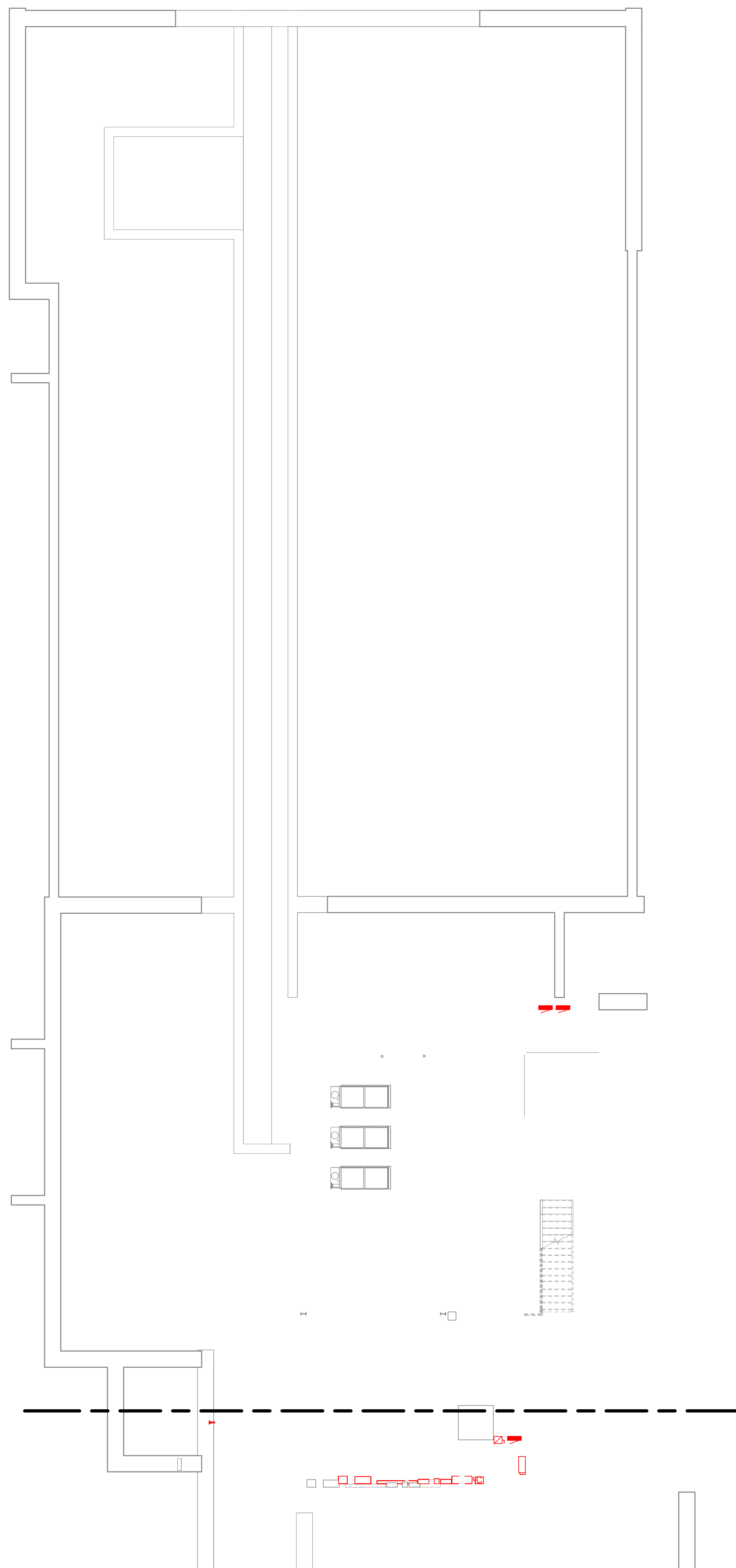
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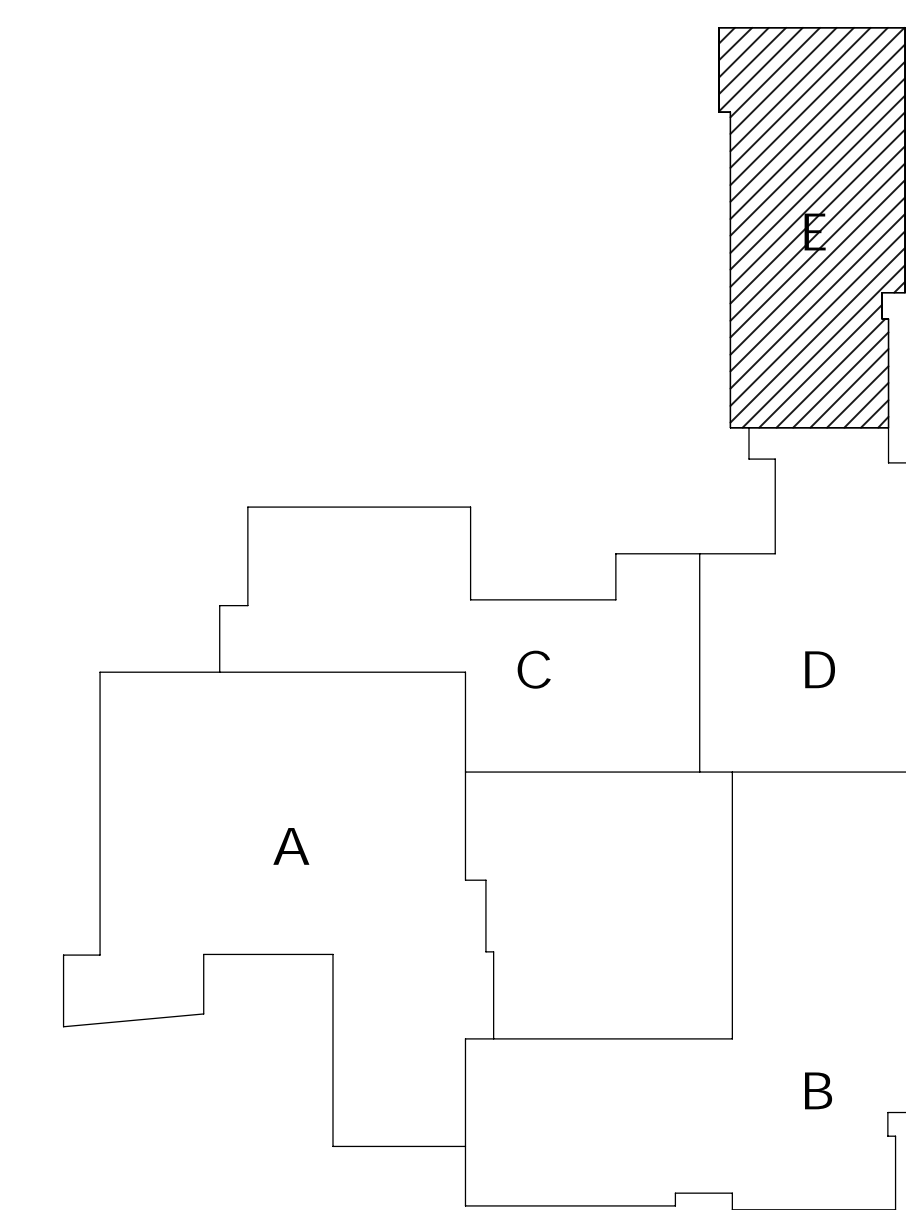


SD - DEMOLITION PLAN - LOWER LEVEL - AREA A
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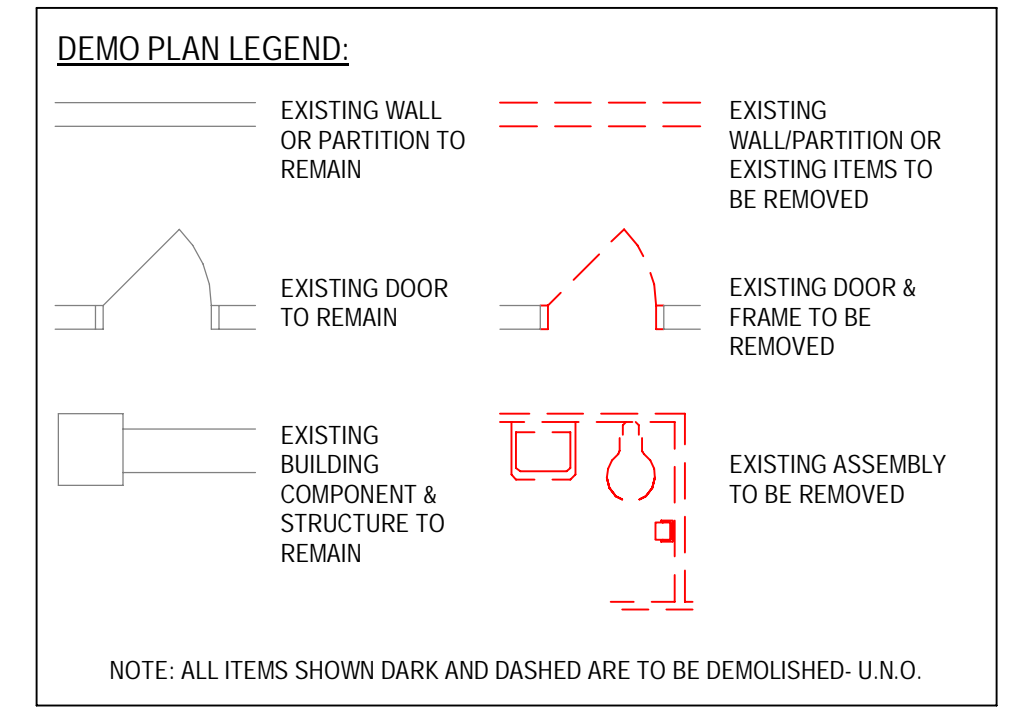
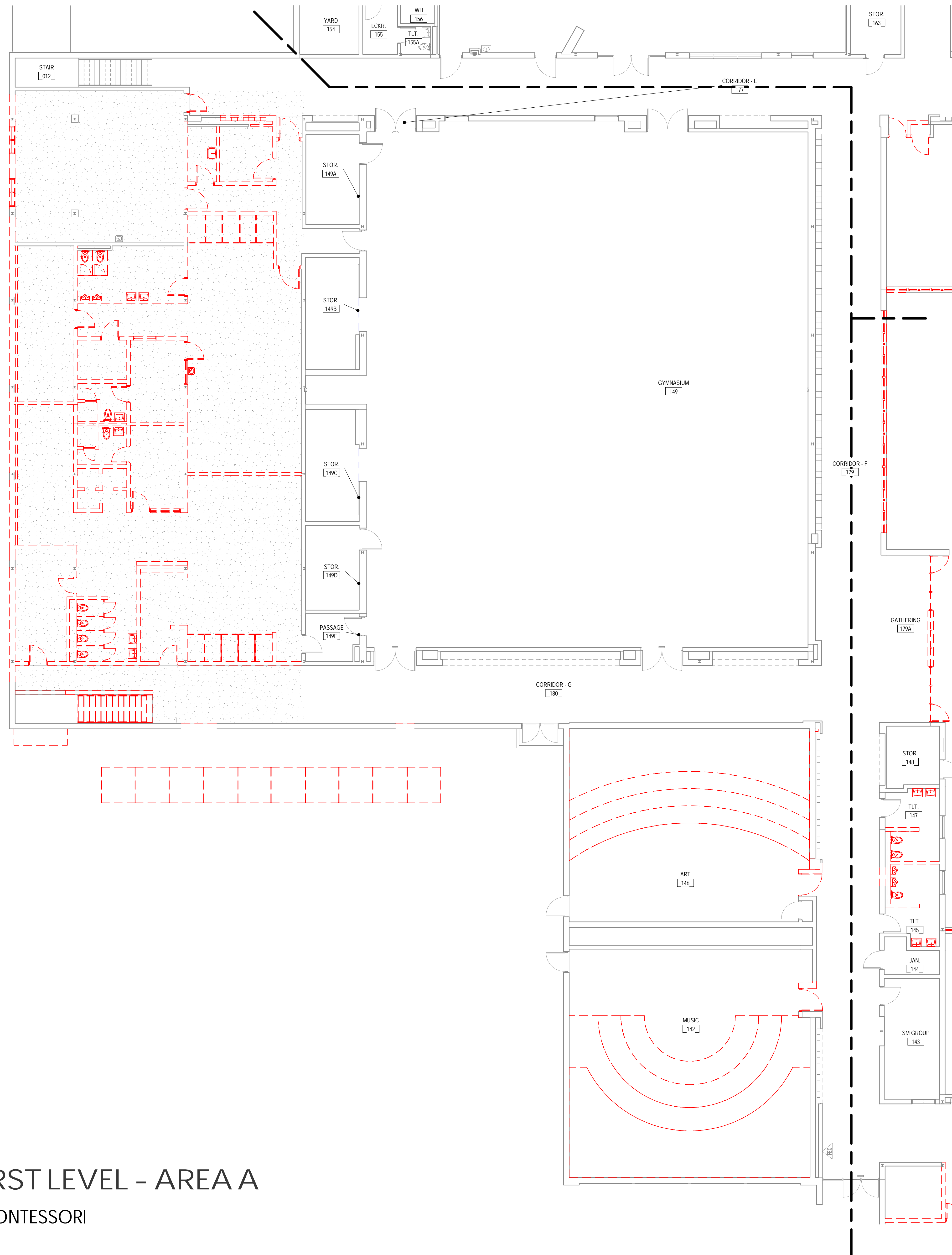


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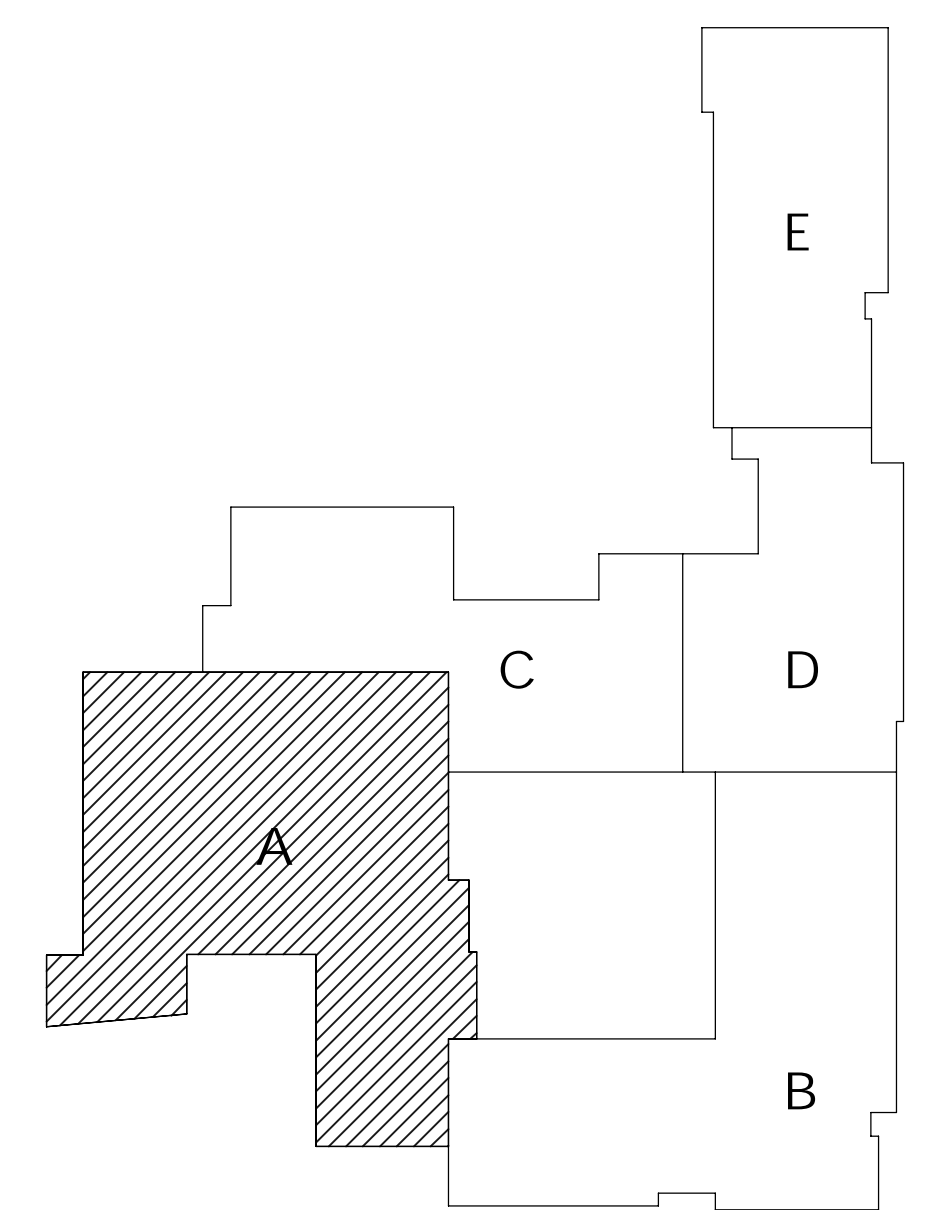
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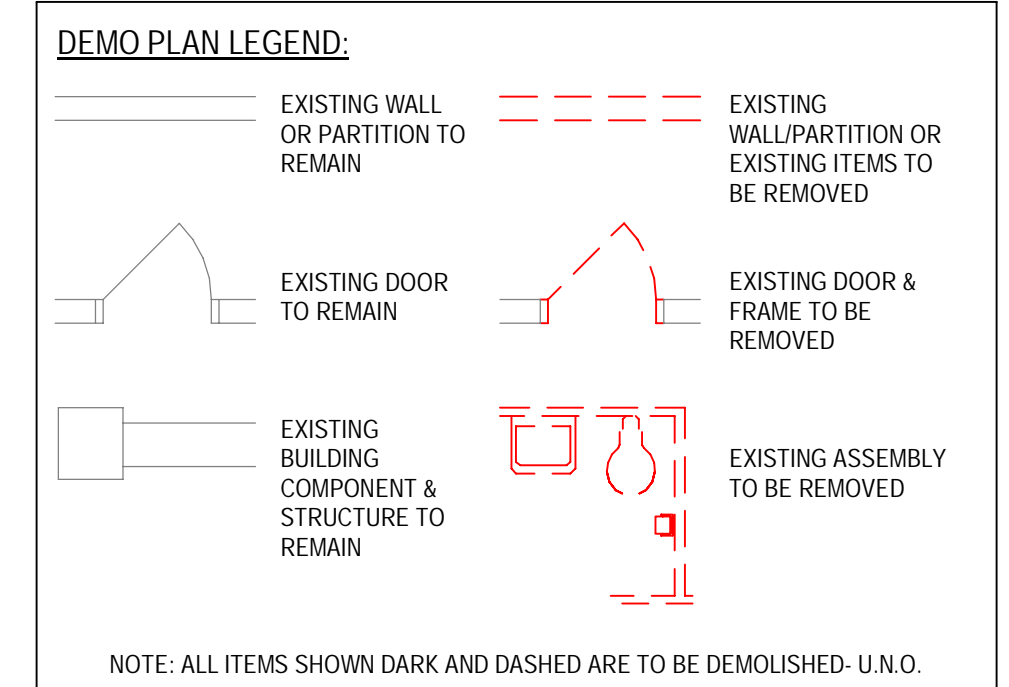
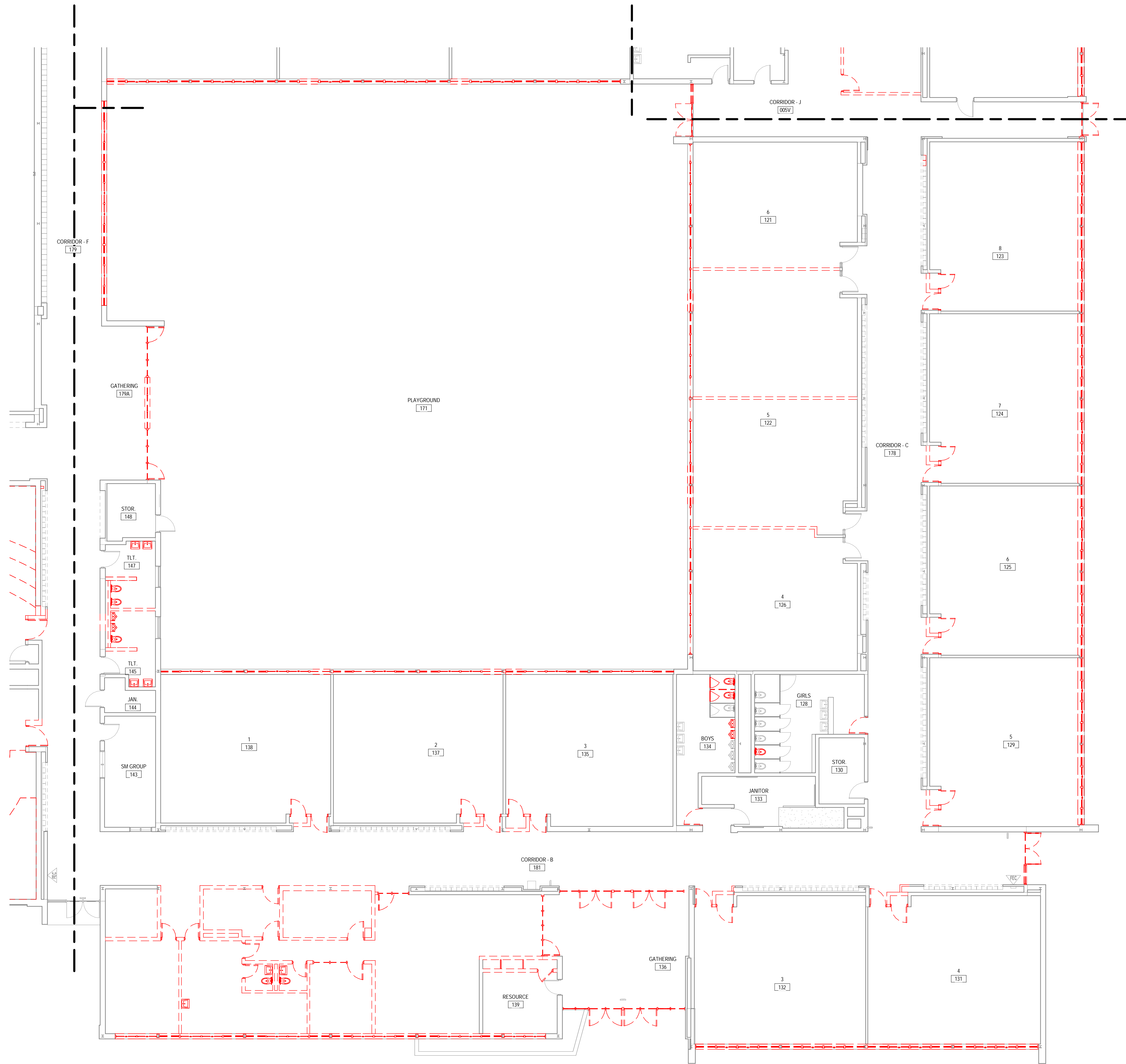


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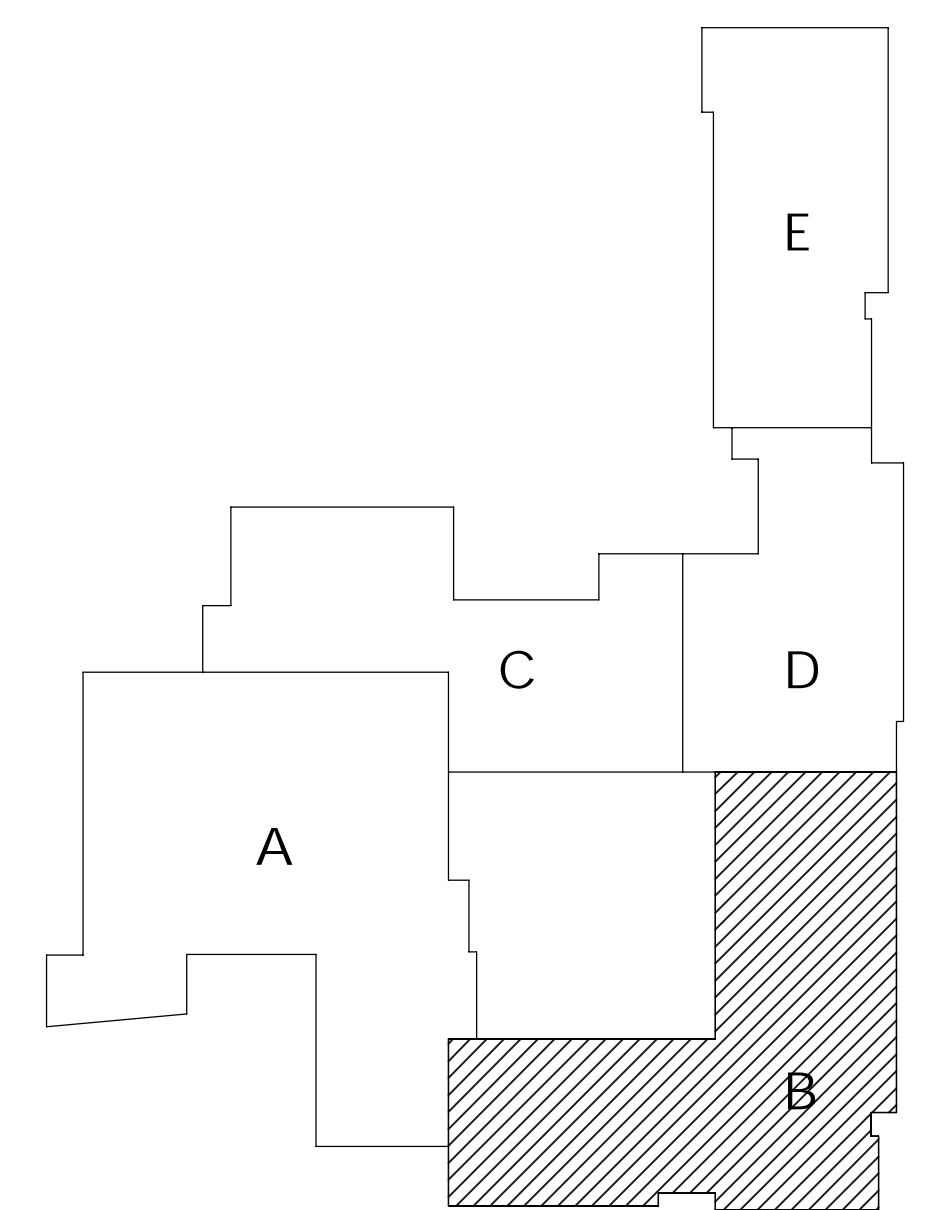


SD - DEMOLITION PLAN - FIRST LEVEL - AREA A
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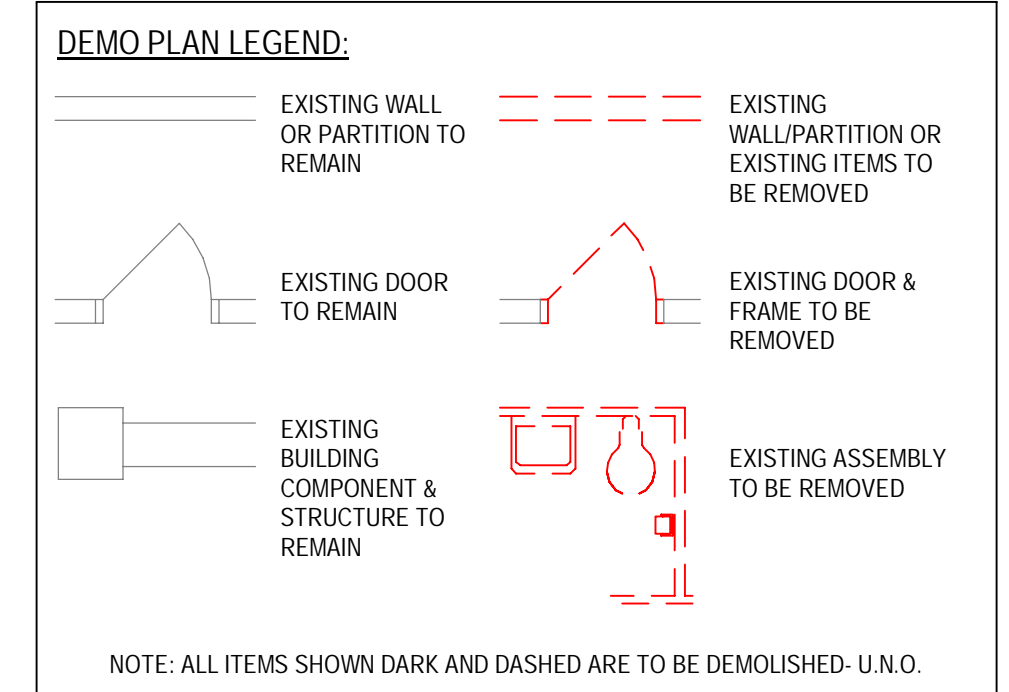


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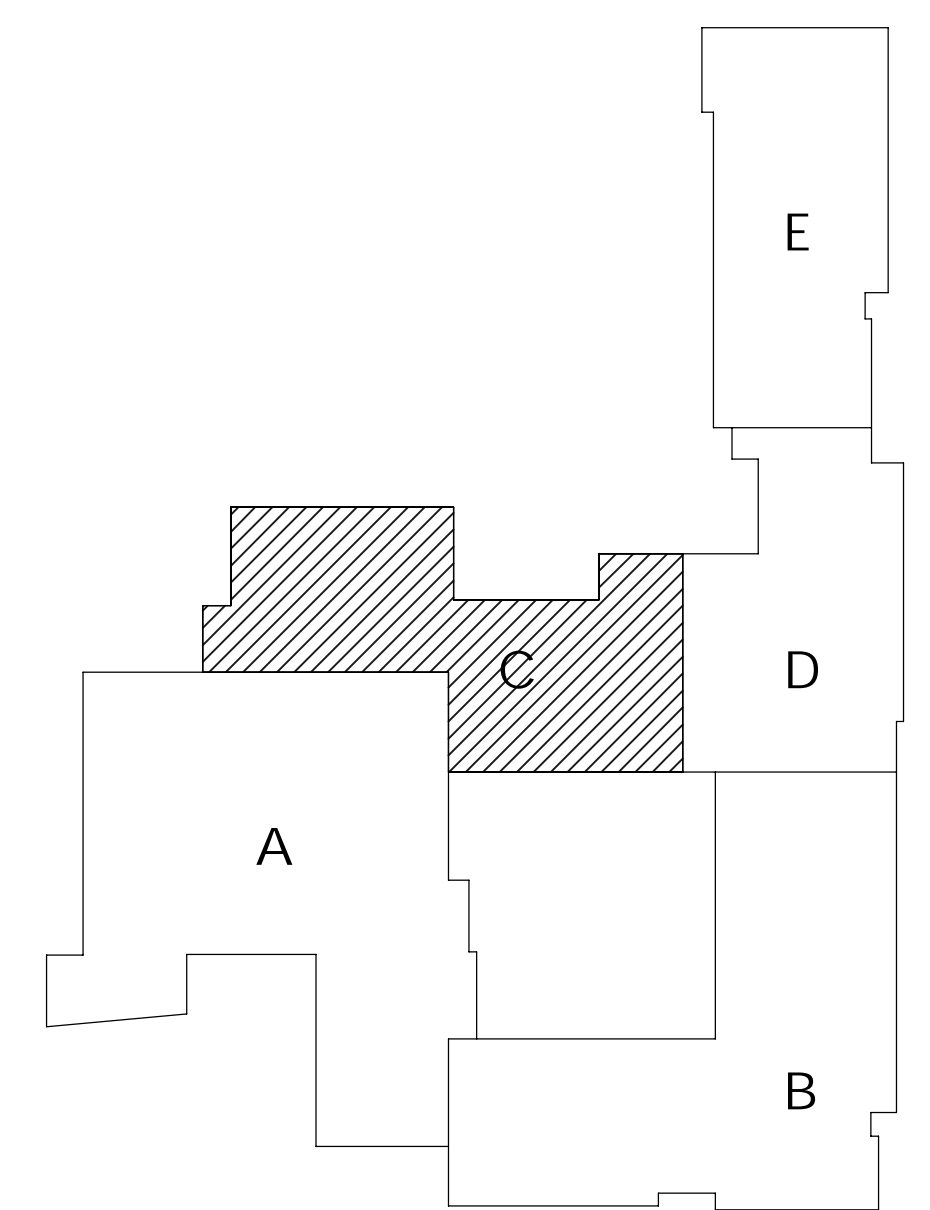
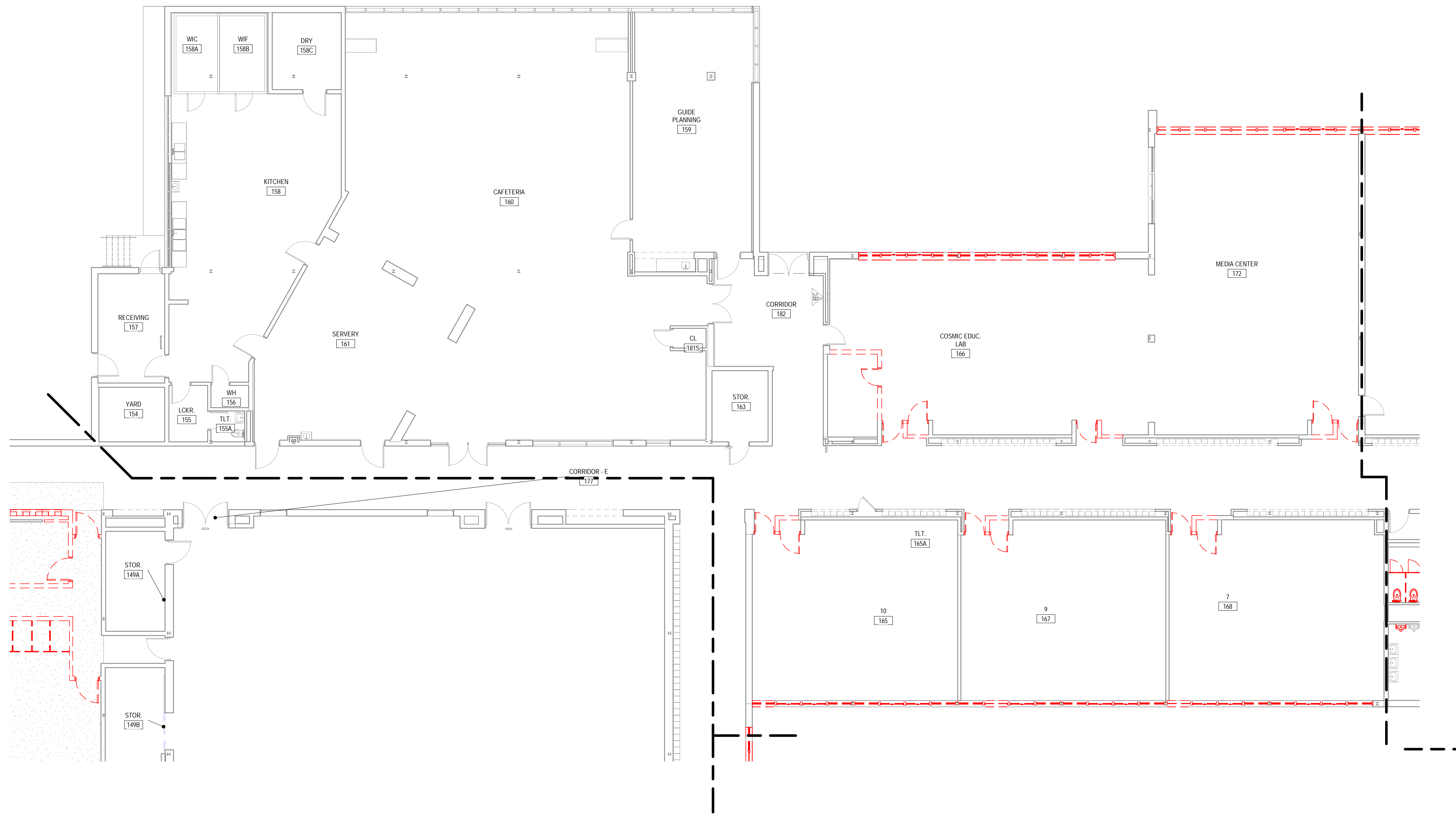
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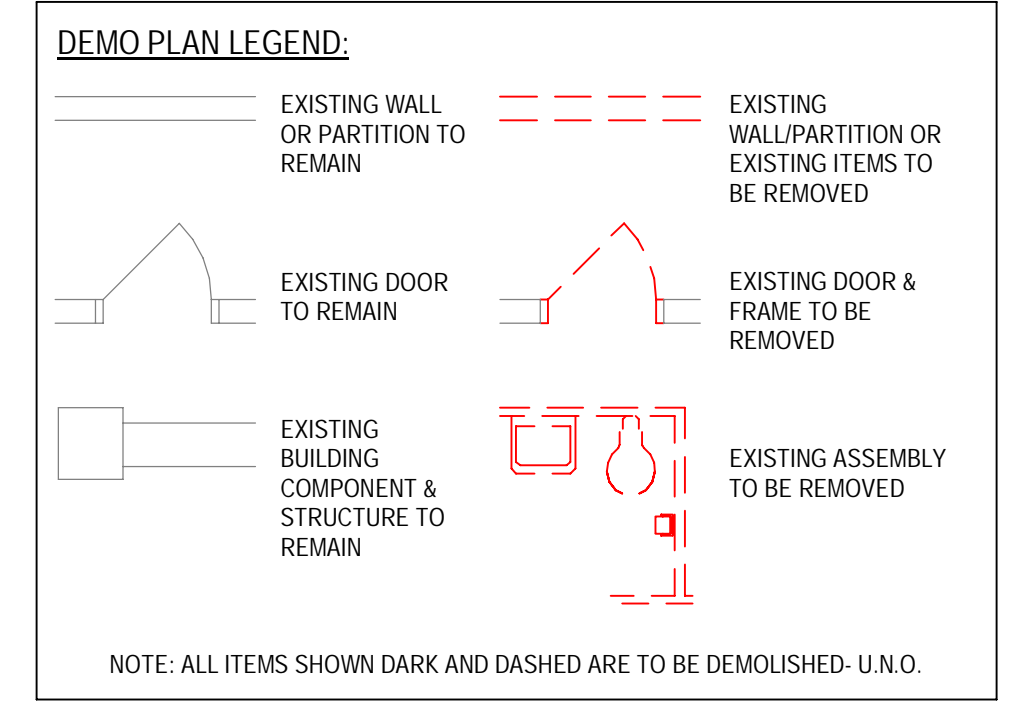
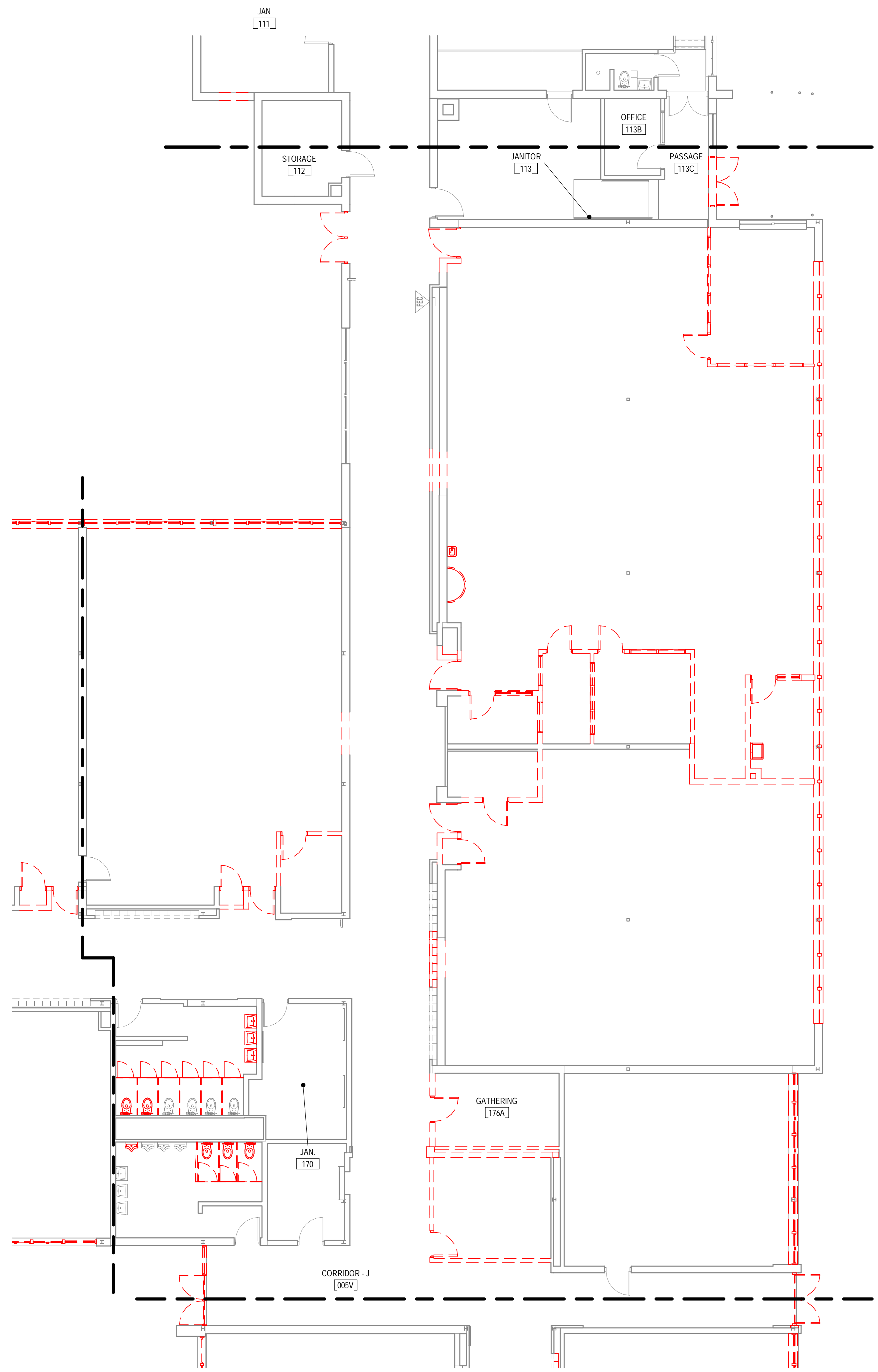
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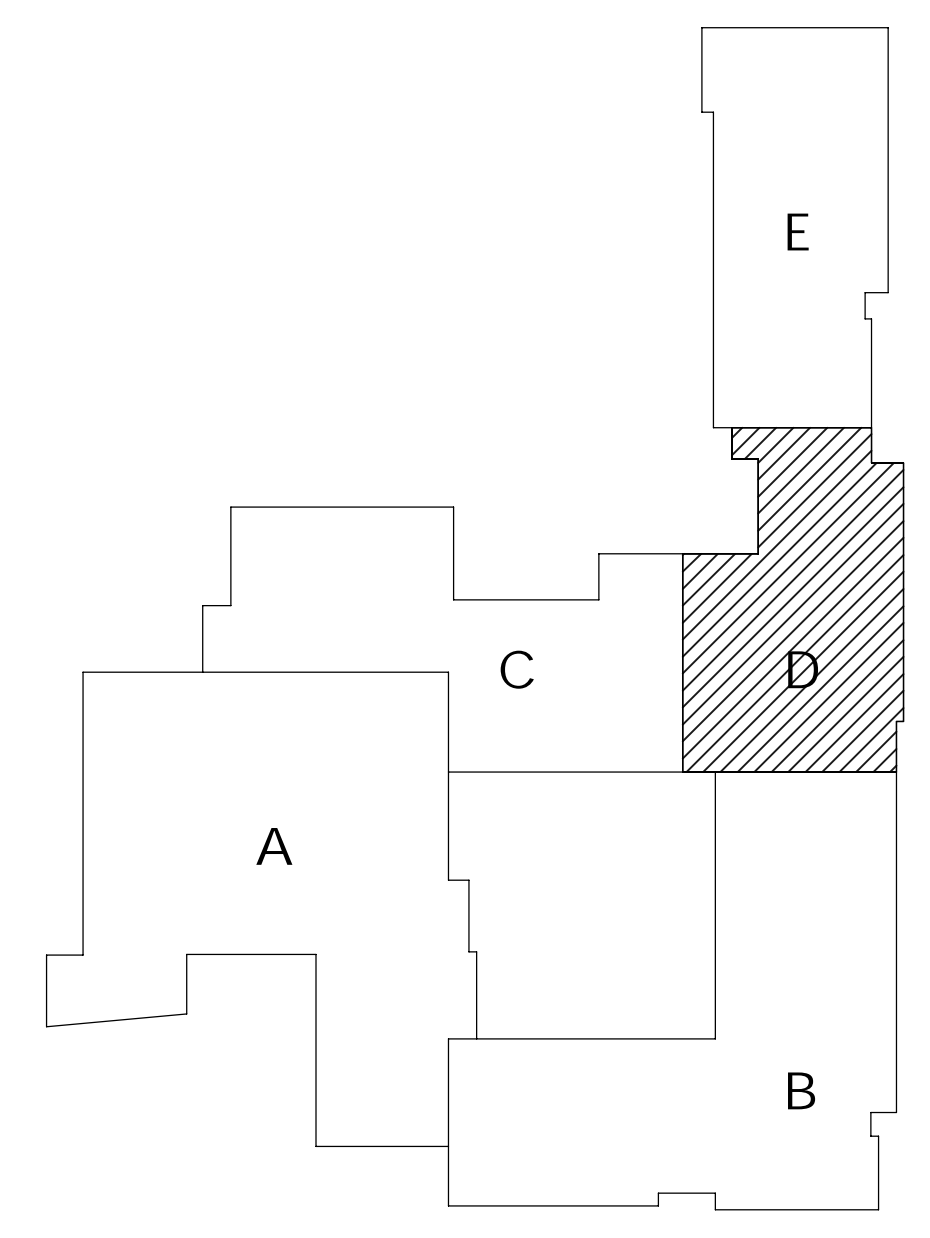


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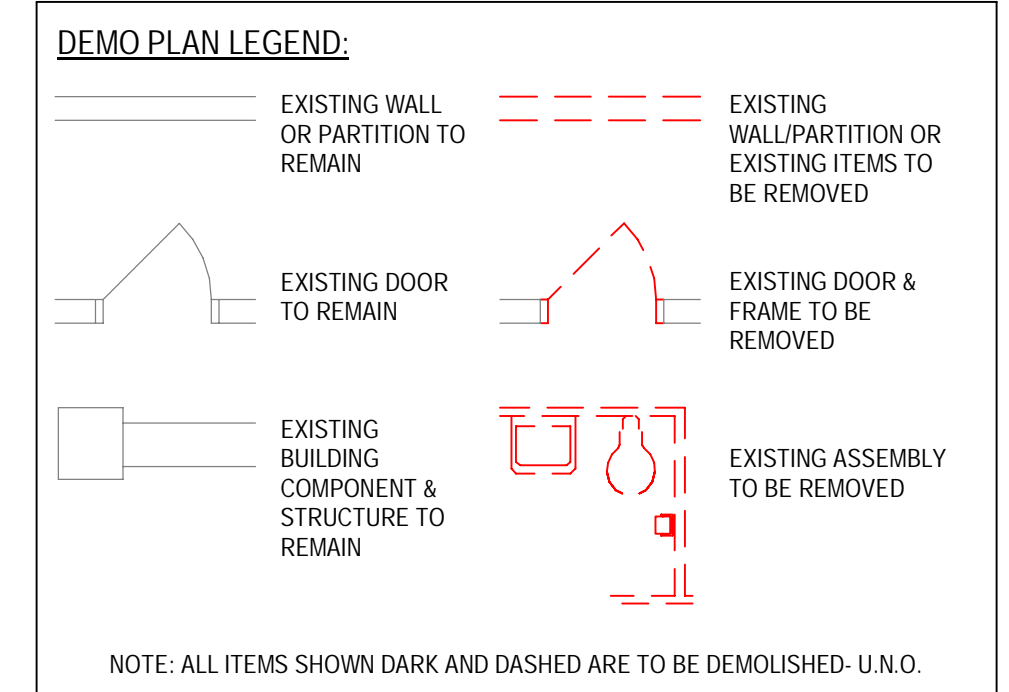
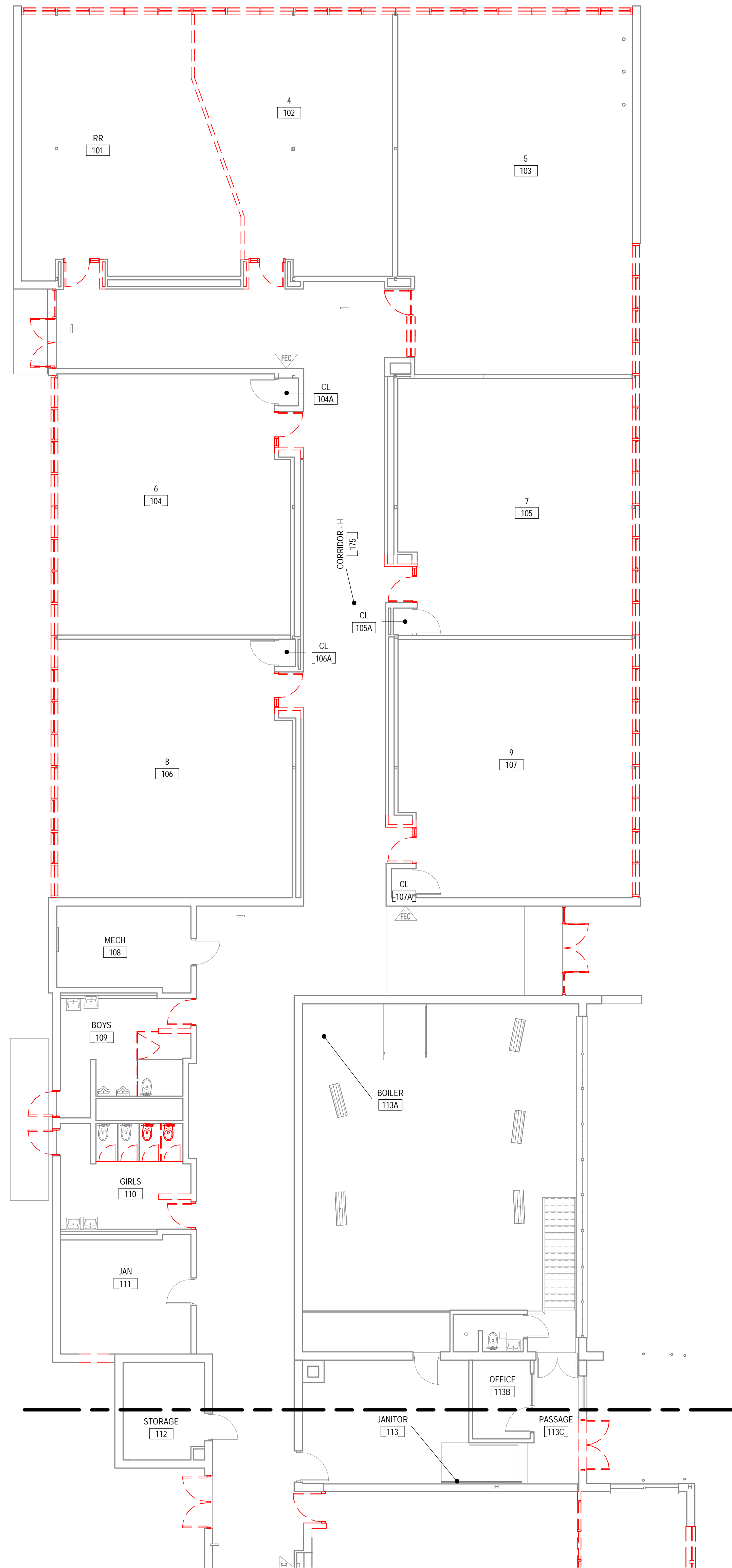


SD - DEMOLITION PLAN - FIRST LEVEL - AREA D

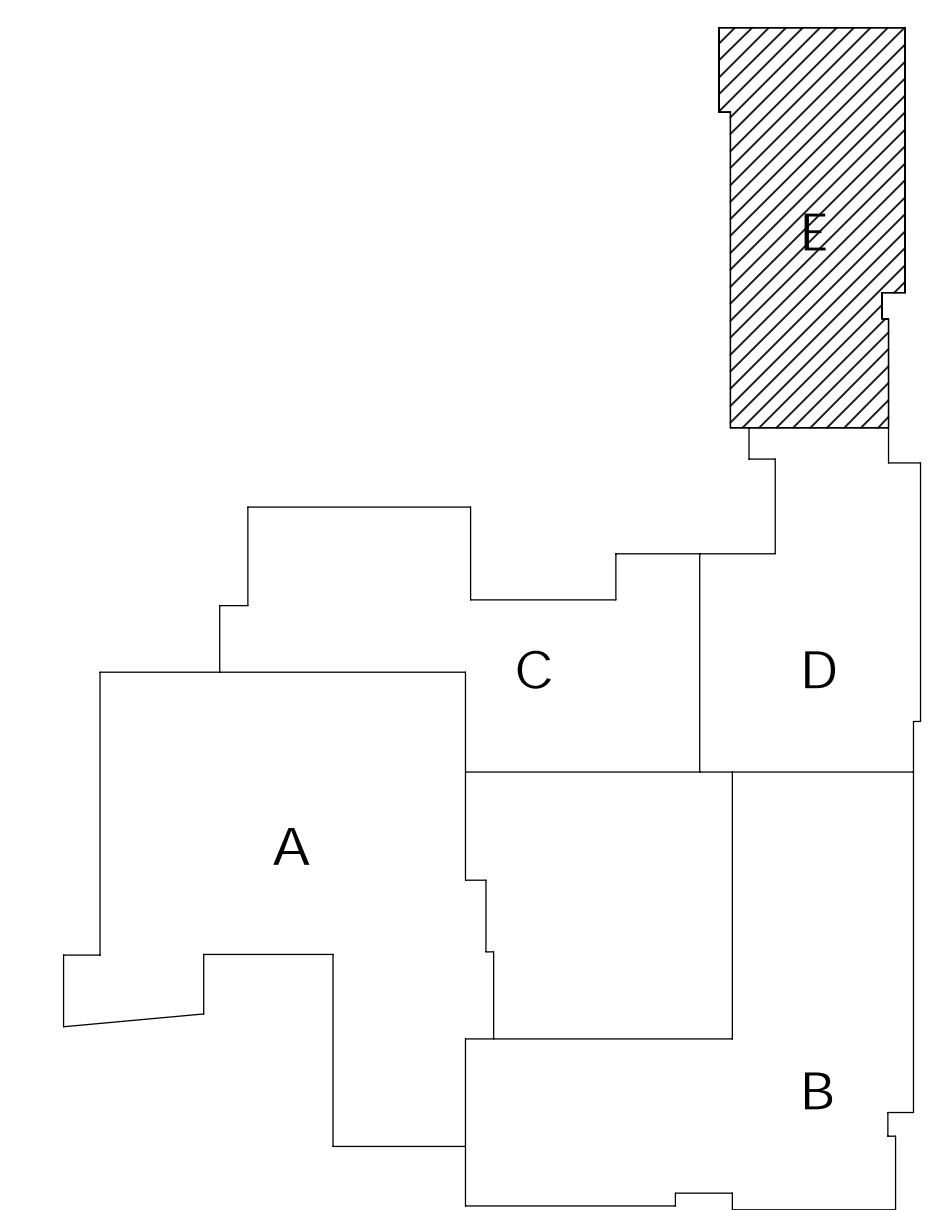
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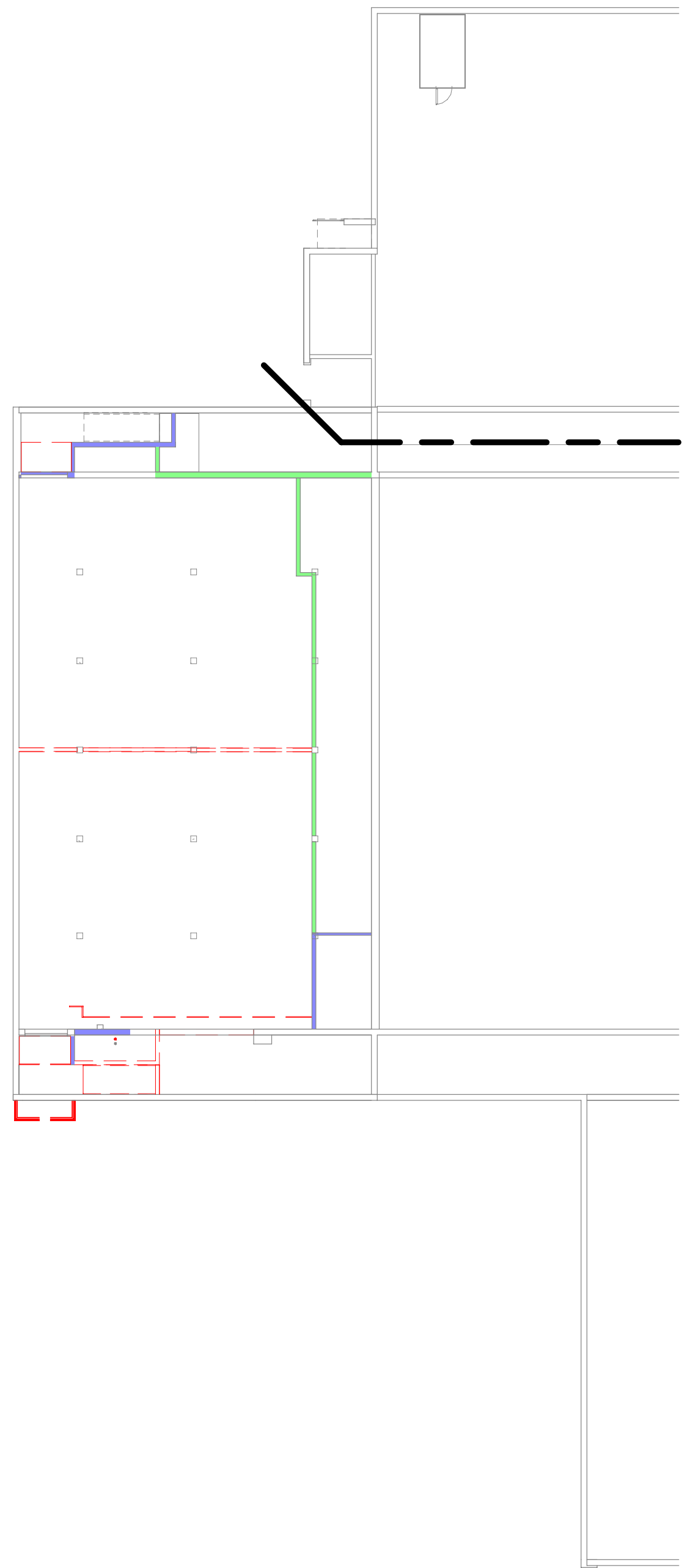


SD - DEMOLITION PLAN - FIRST LEVEL - AREA E

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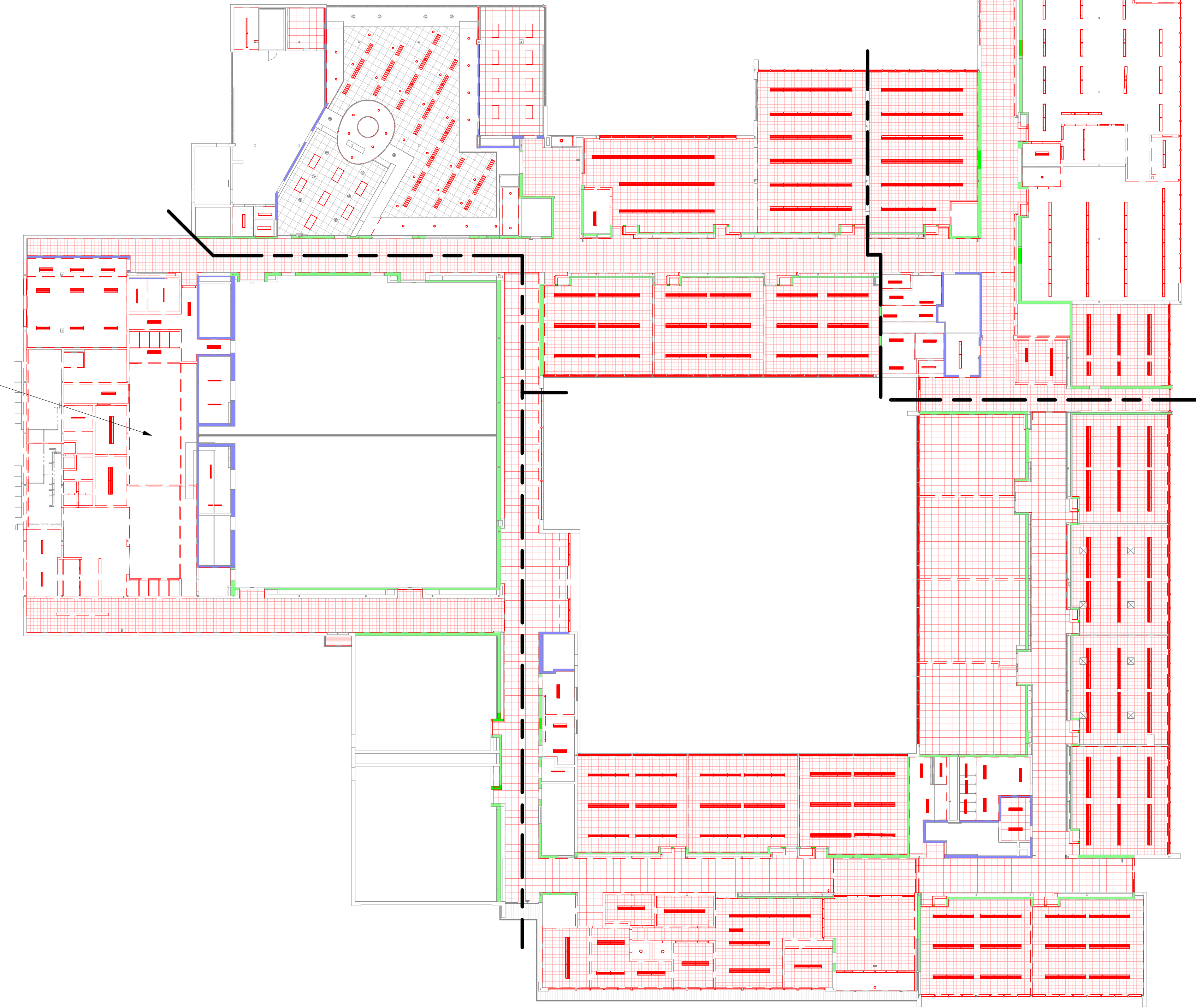
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DEMOLITION REFLECTED CEILING PLAN - LOWER LEVEL - OVERALL
1" = 20'-0"

DEMO HARD LID CEILINGS



DEMOLITION REFLECTED CEILING PLAN - FIRST LEVEL - OVERALL
1" = 20'-0"

DEMO PLAN LEGEND:

	EXISTING WALL OR PARTITION TO REMAIN		EXISTING WALL/PARTITION OR EXISTING ITEMS TO BE REMOVED
	EXISTING DOOR TO REMAIN		EXISTING DOOR & FRAME TO BE REMOVED
	EXISTING BUILDING COMPONENT & STRUCTURE TO REMAIN		EXISTING ASSEMBLY TO BE REMOVED

NOTE: ALL ITEMS SHOWN DARK AND DASHED ARE TO BE DEMOLISHED- U.N.O.

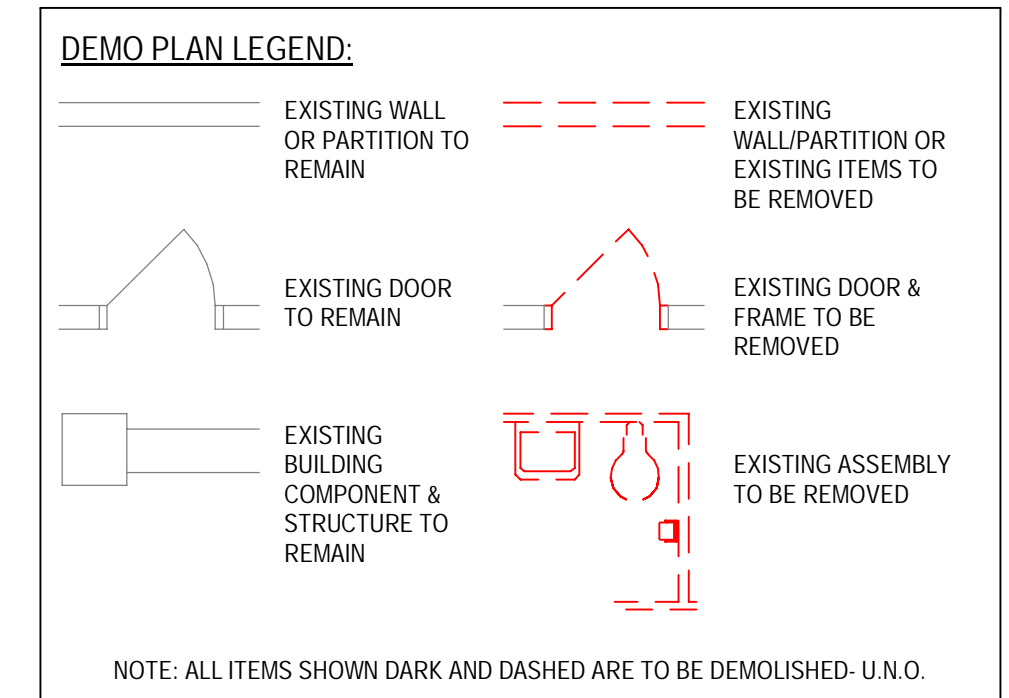
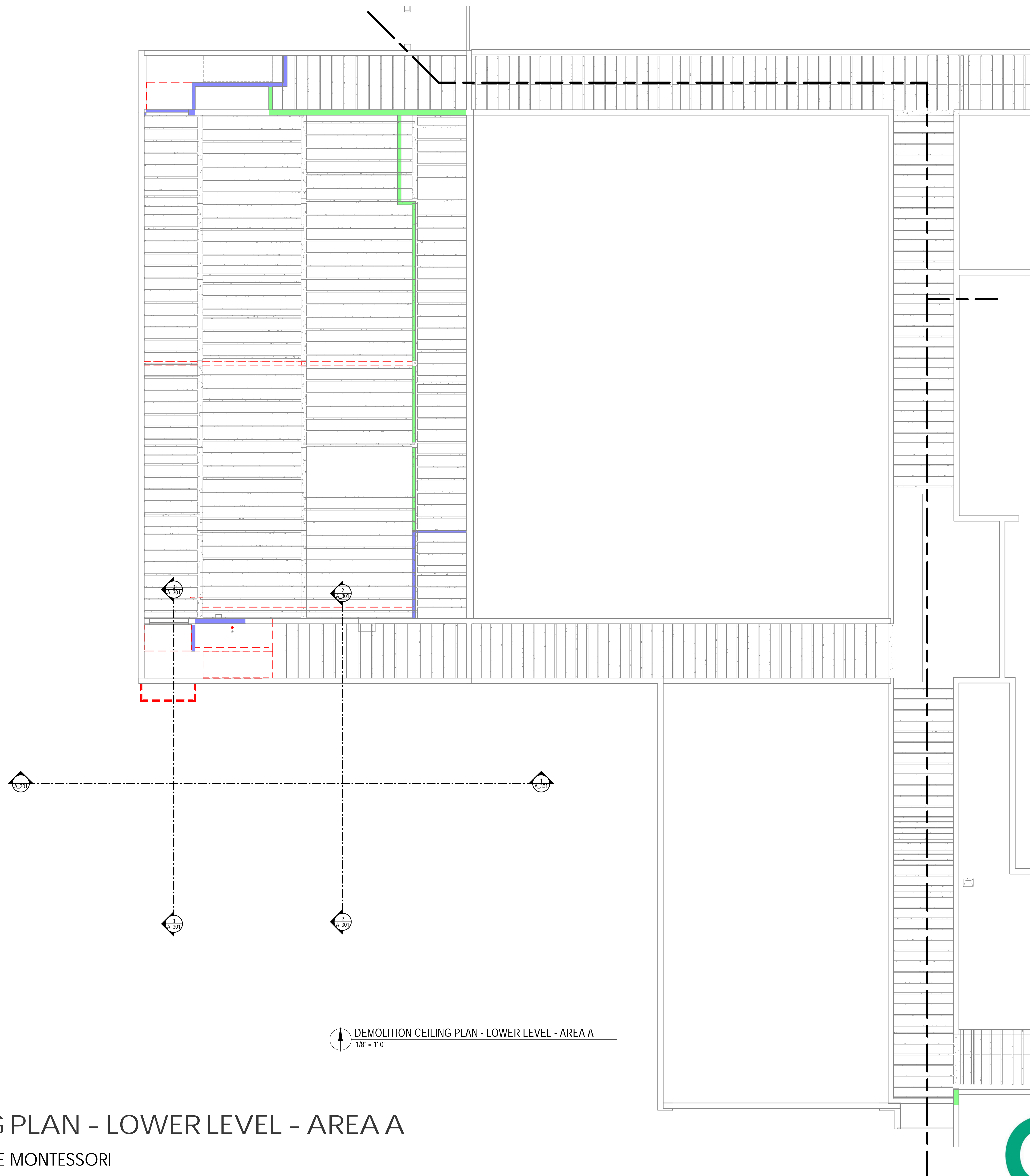
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SD - OVERALL DEMOLITION CEILING PLANS

GRAND RAPIDS PUBLIC SCHOOLS RIVERSIDE MONTESSORI

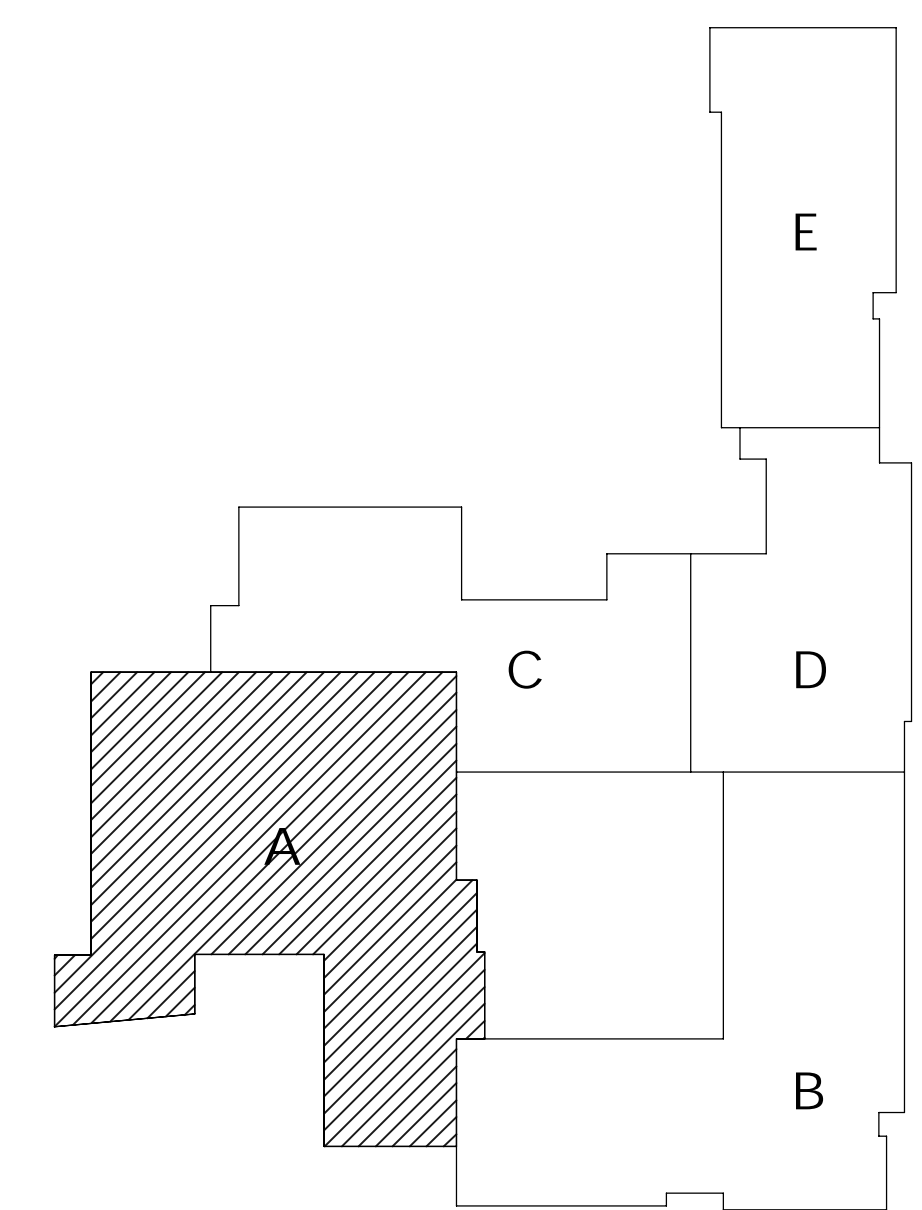
27-JAN-2025





- GENERAL DEMOLITION NOTES:**
1. ALL EXISTING ITEMS TO BE RETAINED BY THE OWNER WILL BE REMOVED PRIOR TO DEMOLITION. ANY ITEMS LEFT IN THE DEMOLITION AREA BECOME THE PROPERTY OF THE DEMOLITION CONTRACTOR.
 2. REFER TO ALL CONTRACT DOCUMENTS, INCLUDING SPECIFICATIONS, FOR ADDITIONAL DEMOLITION NOTES AND INFORMATION.
 3. SHORE AND BRACE ALL WORK REQUIRED TO REMAIN.
 4. CONTRACTORS SHALL VISIT THE SITE PRIOR TO SUBMITTING A BID TO BECOME FAMILIAR WITH EXISTING CONDITIONS.
 5. CONTRACTORS ARE TO COORDINATE DEMOLITION WORK WITH OWNER PRIOR TO START OF WORK.
 6. U.N.O. PATCH AND PREPARE FLOOR W/ CONCRETE (OR FLORSTONE) TO FLUSH WITH ADJACENT FLOOR SURFACE. FILL ANY SLOPING OR RECESSED AREAS TO LEVEL WITH TYPICAL FINISH FLOOR ELEVATION TO ACCOMMODATE NEW FLOOR COVERINGS.
 7. INFILL EXISTING CHASE OPENINGS AND/OR PENETRATIONS IN FLOORS, CEILINGS, OR ROOF DECK. FIRE-RATING OF NEW CONSTRUCTION IS TO MATCH EXISTING.
 8. DEMO ALL CEILING AND FLOOR FINISHES.

DEMOLITION CEILING PLAN - LOWER LEVEL - AREA A
1/8" = 1'-0"

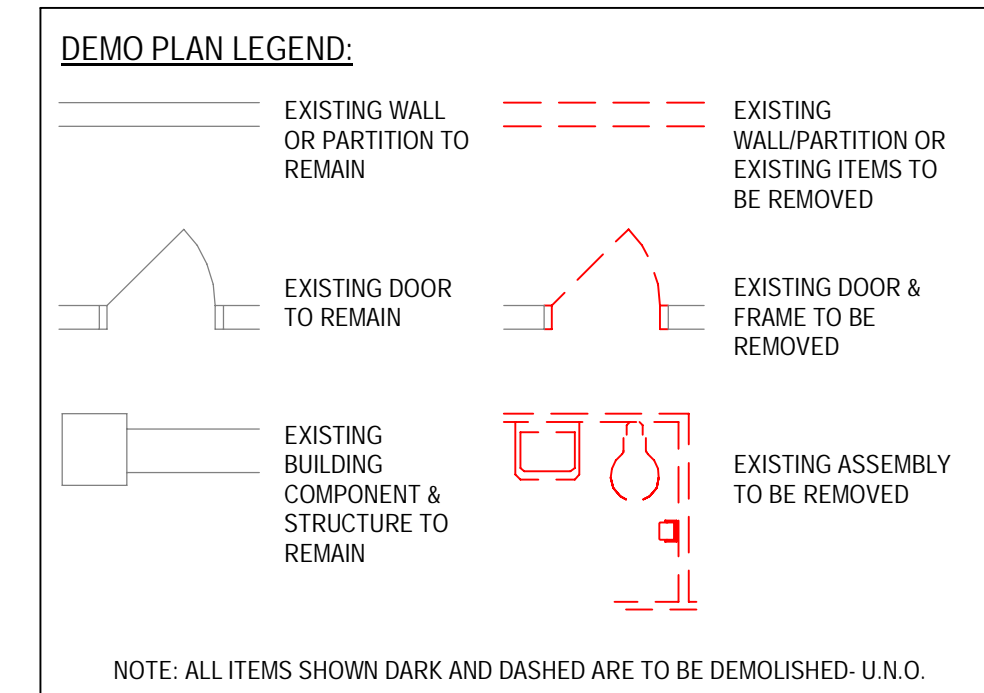
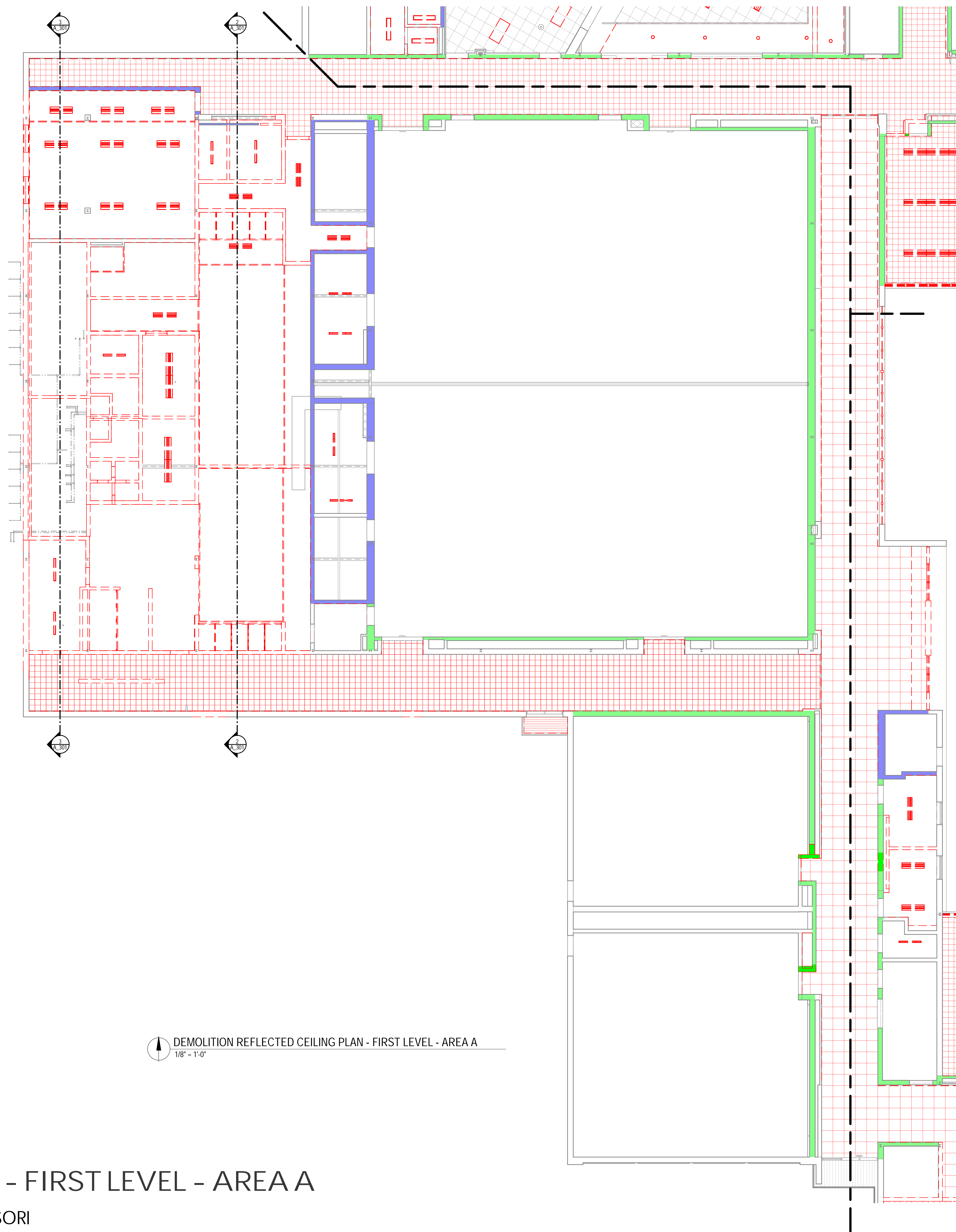


SD - DEMOLITION CEILING PLAN - LOWER LEVEL - AREA A

GRAND RAPIDS PUBLIC SCHOOLS RIVERSIDE MONTESSORI

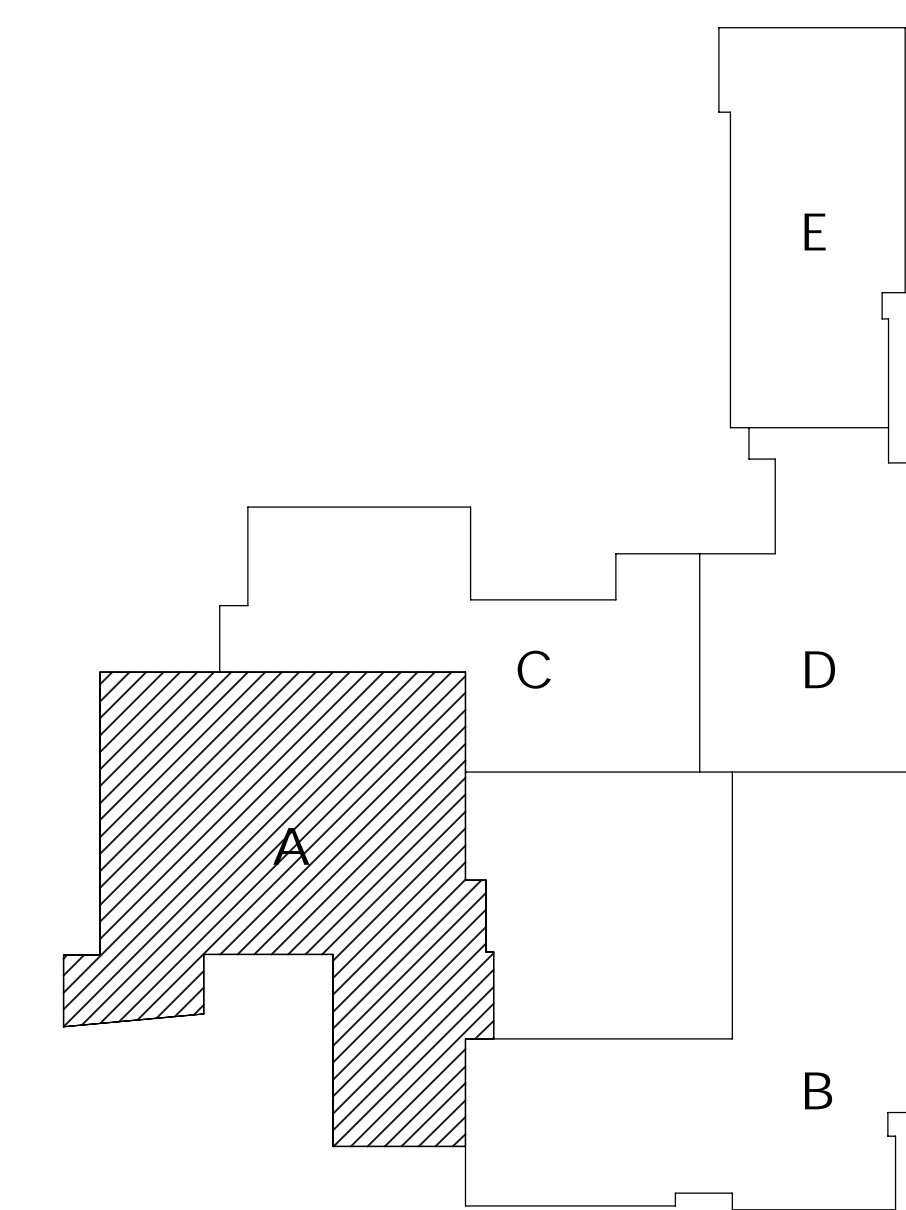
27-JAN-2025





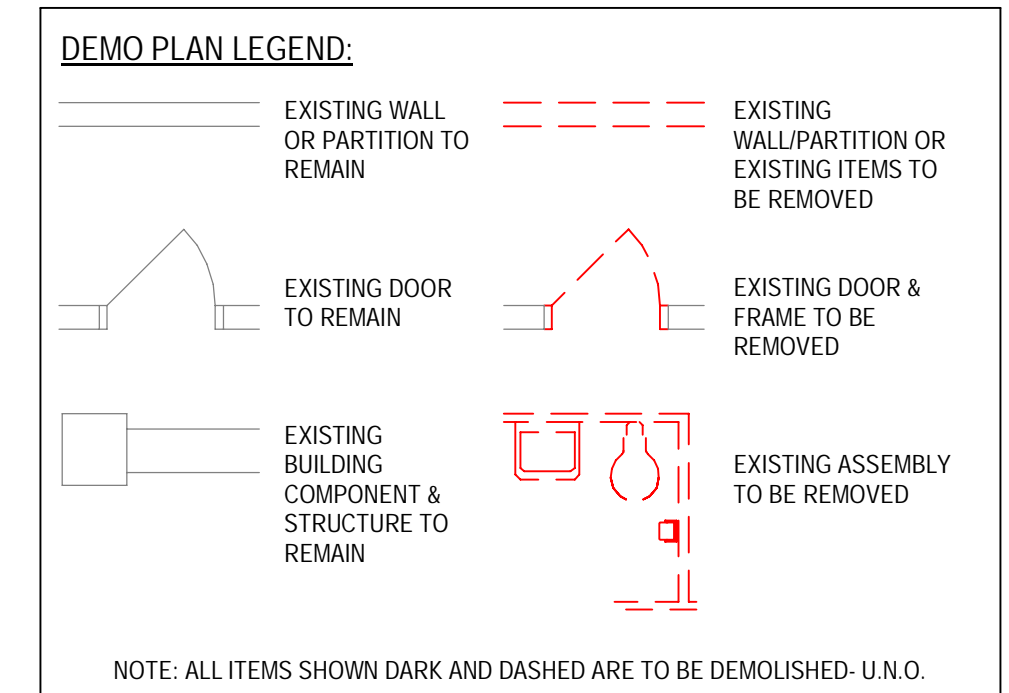
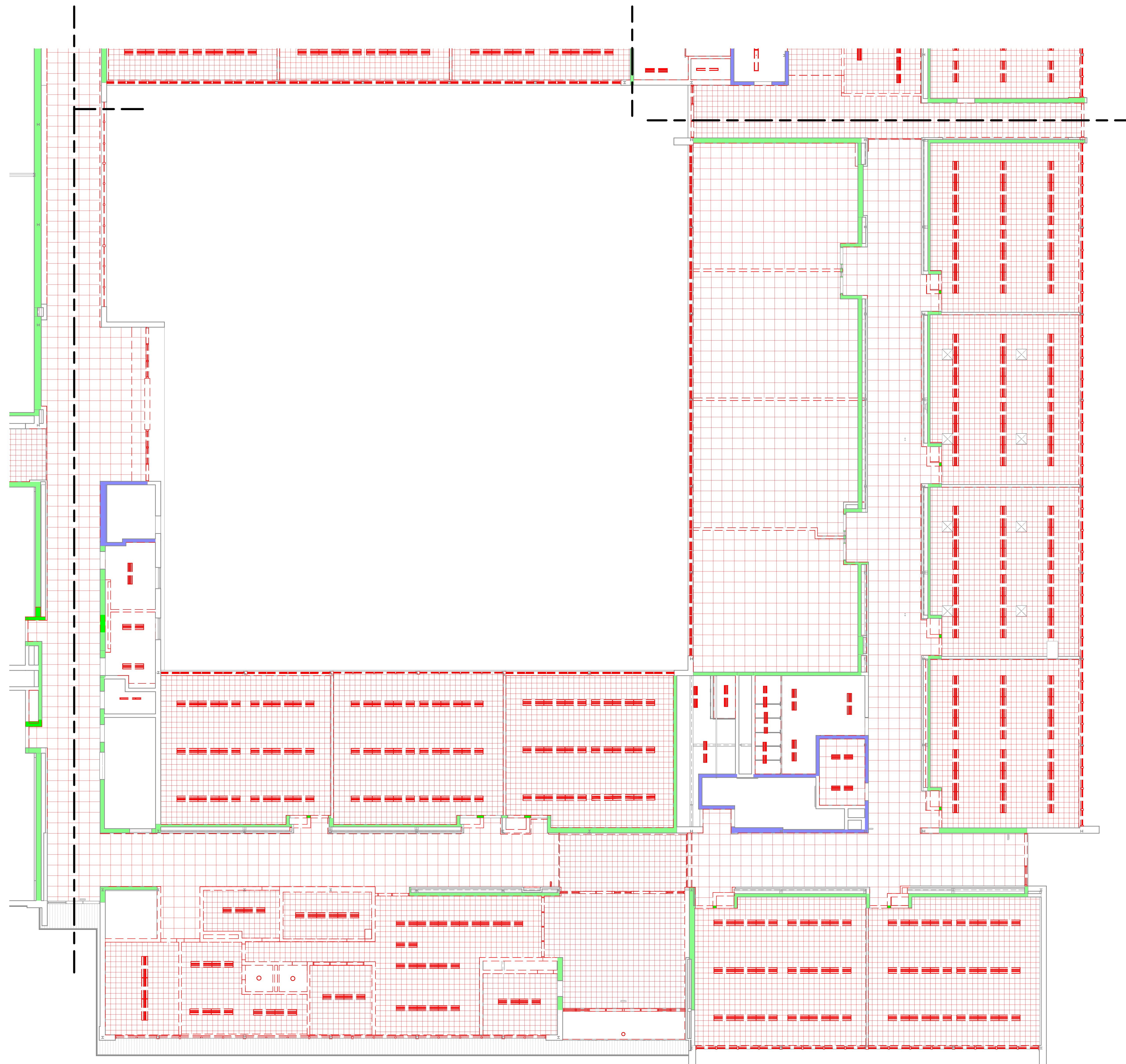
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DEMOLITION REFLECTED CEILING PLAN - FIRST LEVEL - AREA A
1/8" = 1'-0"



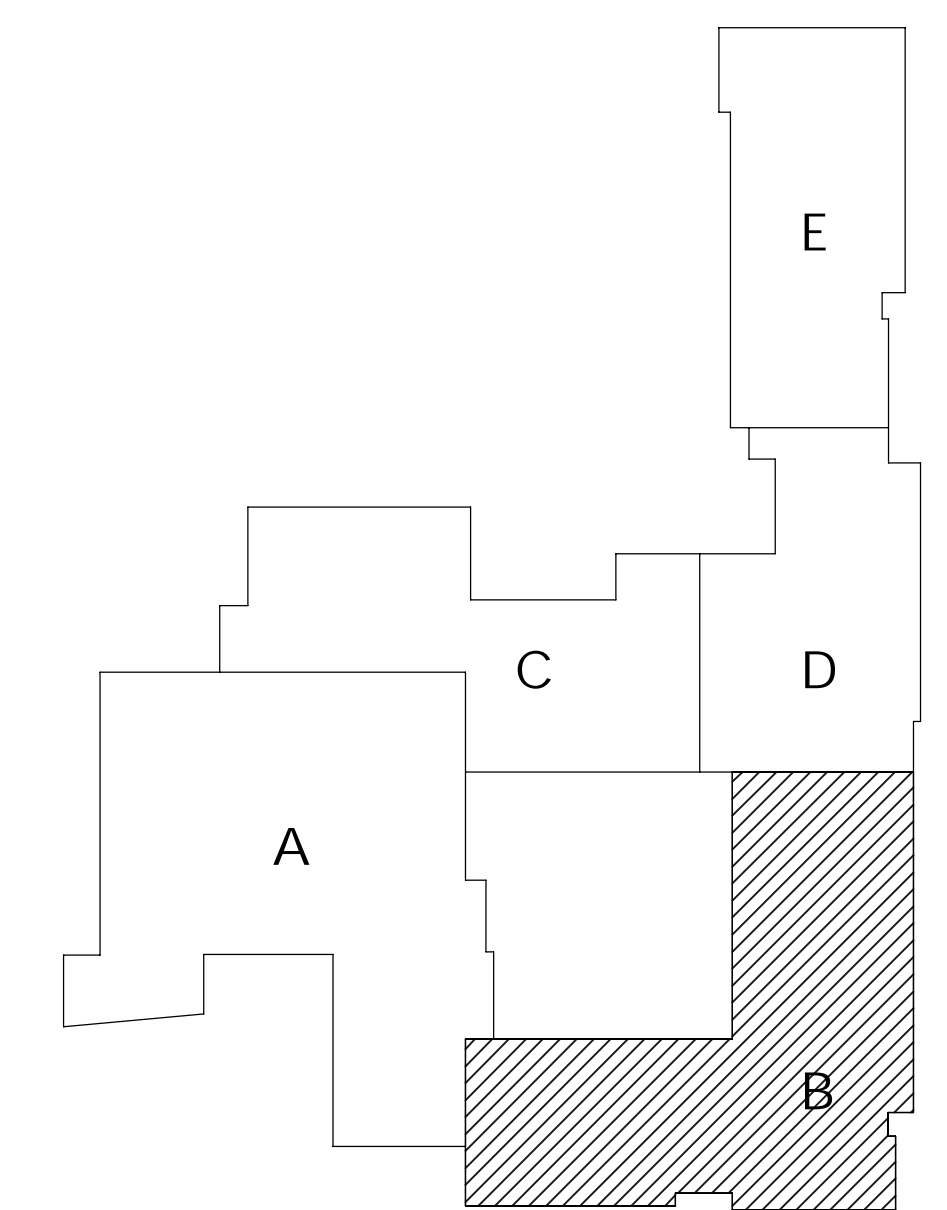
SD - DEMOLITION CEILING PLAN - FIRST LEVEL - AREA A
GRAND RAPIDS PUBLIC SCHOOLS RIVERSIDE MONTESSORI
27-JAN-2025





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 - DEMO ALL CEILING AND FLOOR FINISHES.

DEMOLITION REFLECTED CEILING PLAN - FIRST LEVEL - AREA B
1/8" = 1'-0"



SD - DEMOLITION CEILING PLAN - FIRST LEVEL - AREA B

GRAND RAPIDS PUBLIC SCHOOLS RIVERSIDE MONTESSORI

27-JAN-2025

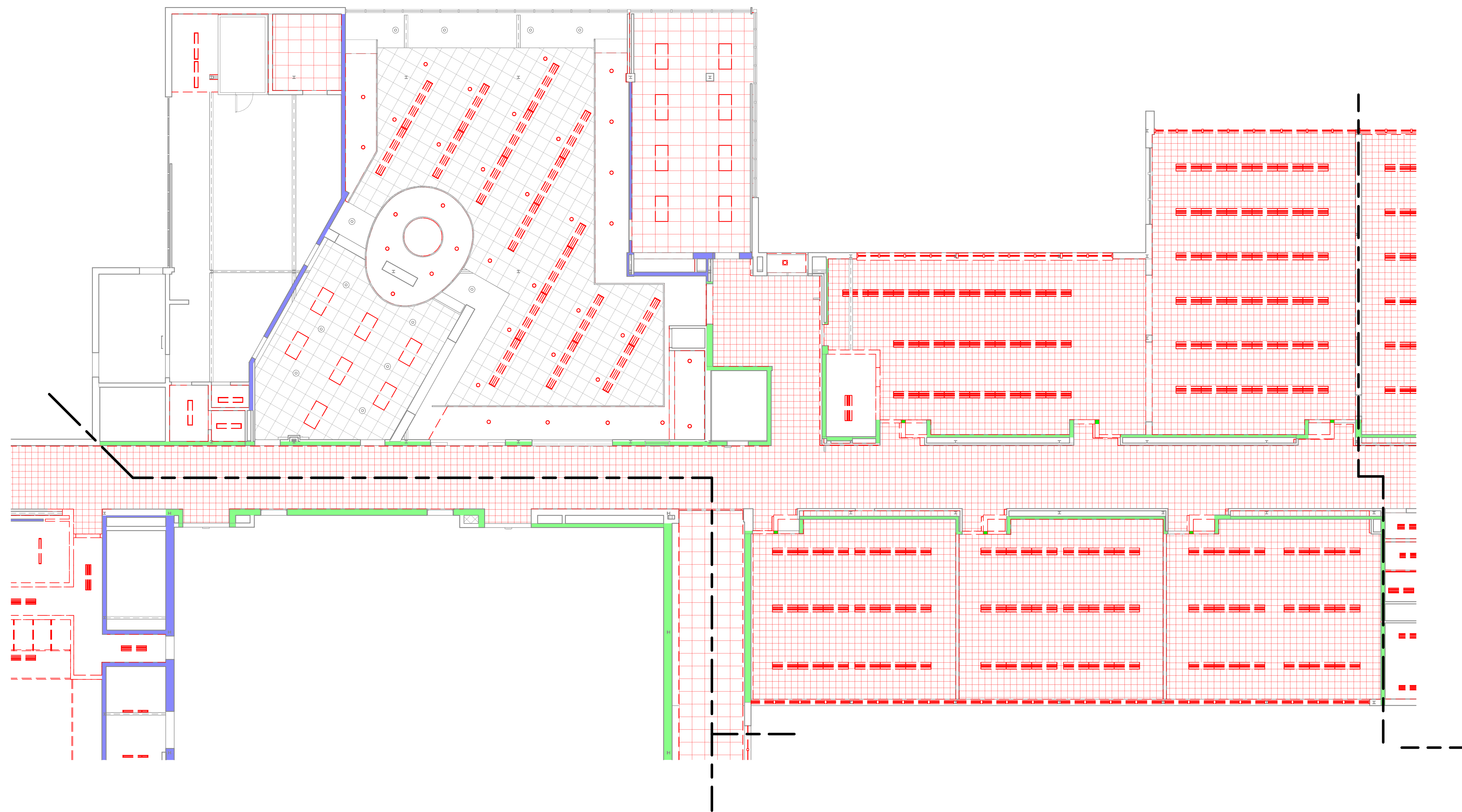


DEMO PLAN LEGEND:

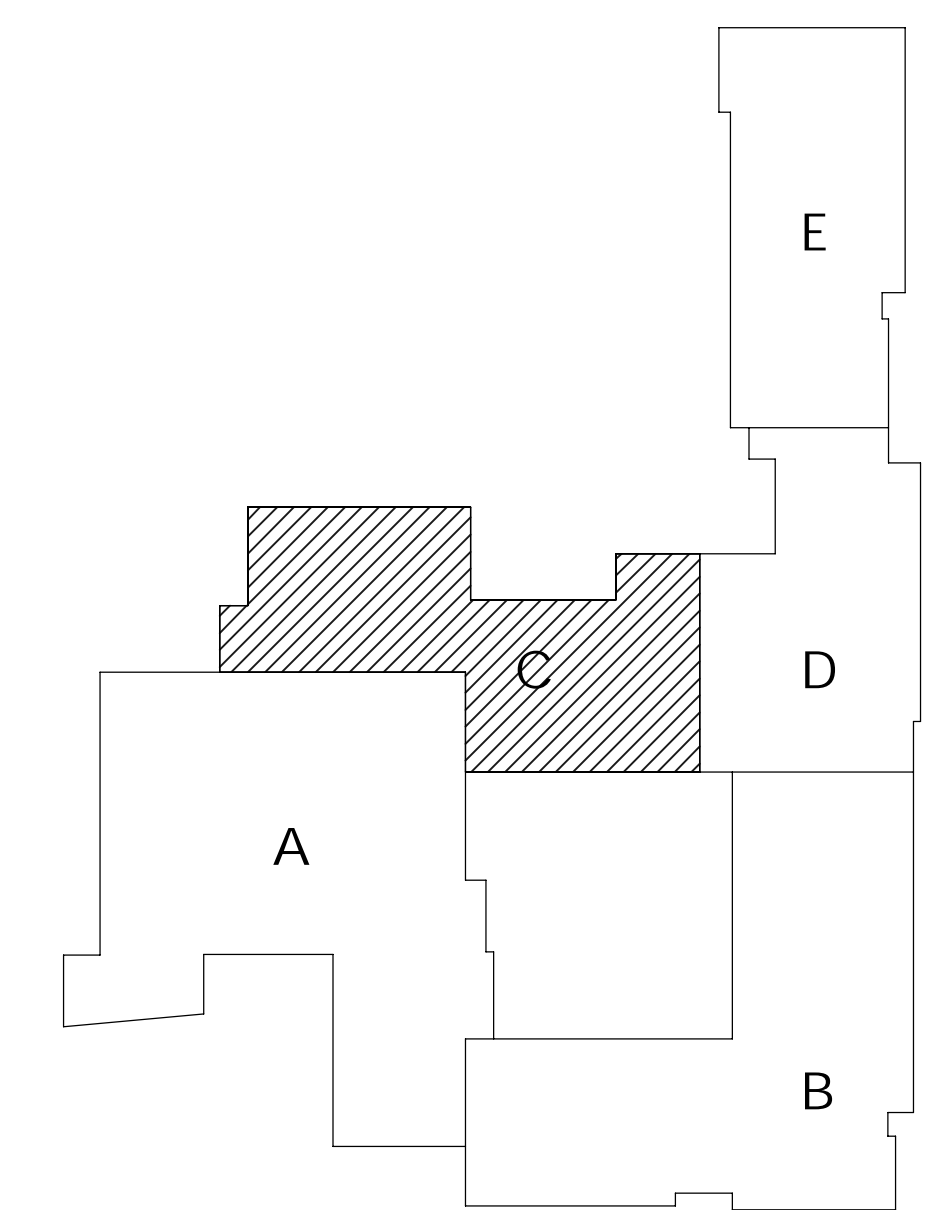
	EXISTING WALL OR PARTITION TO REMAIN		EXISTING WALL/PARTITION OR EXISTING ITEMS TO BE REMOVED
	EXISTING DOOR TO REMAIN		EXISTING DOOR & FRAME TO BE REMOVED
	EXISTING BUILDING COMPONENT & STRUCTURE TO REMAIN		EXISTING ASSEMBLY TO BE REMOVED

NOTE: ALL ITEMS SHOWN DARK AND DASHED ARE TO BE DEMOLISHED- U.N.G.

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DEMOLITION REFLECTED CEILING PLAN - FIRST LEVEL - AREA C
1/8" = 1'-0"

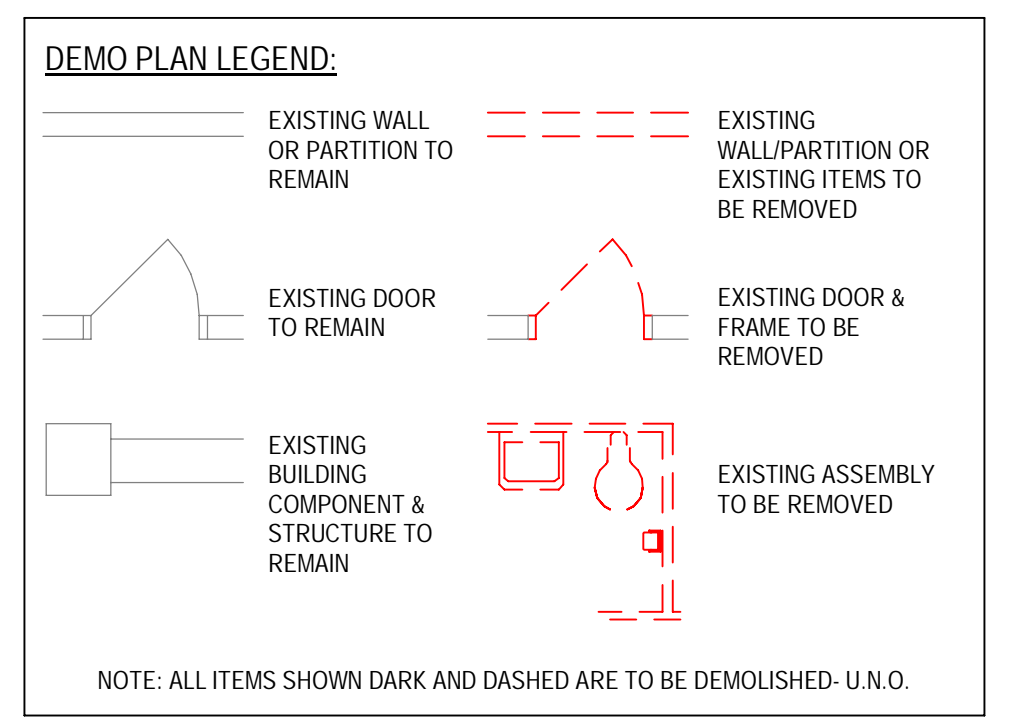
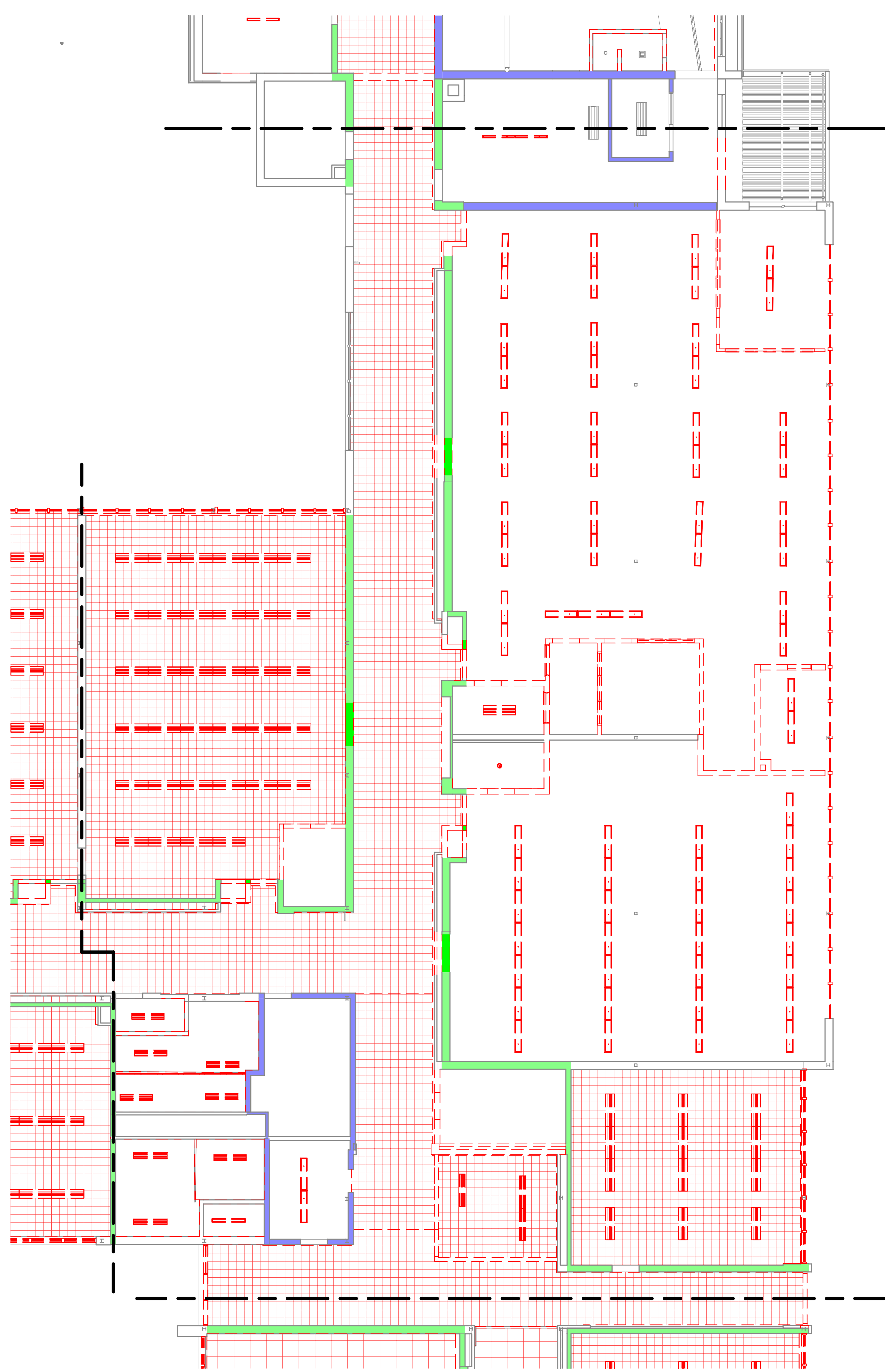


SD - DEMOLITION CEILING PLAN - FIRST LEVEL - AREA C

GRAND RAPIDS PUBLIC SCHOOLS RIVERSIDE MONTESSORI

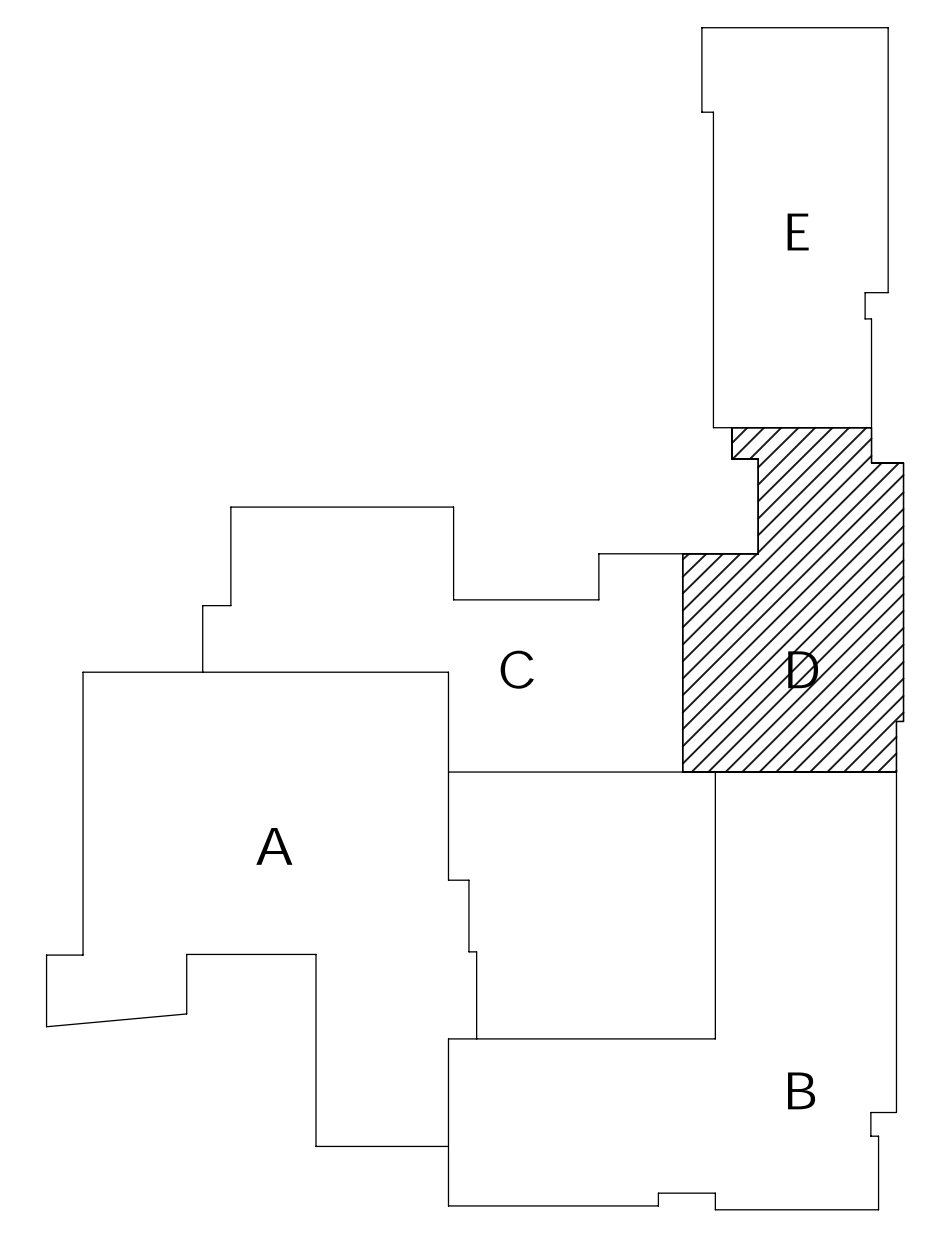
27-JAN-2025





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1 DEMOLITION REFLECTED CEILING PLAN - FIRST LEVEL - AREA D
1/8" = 1'-0"

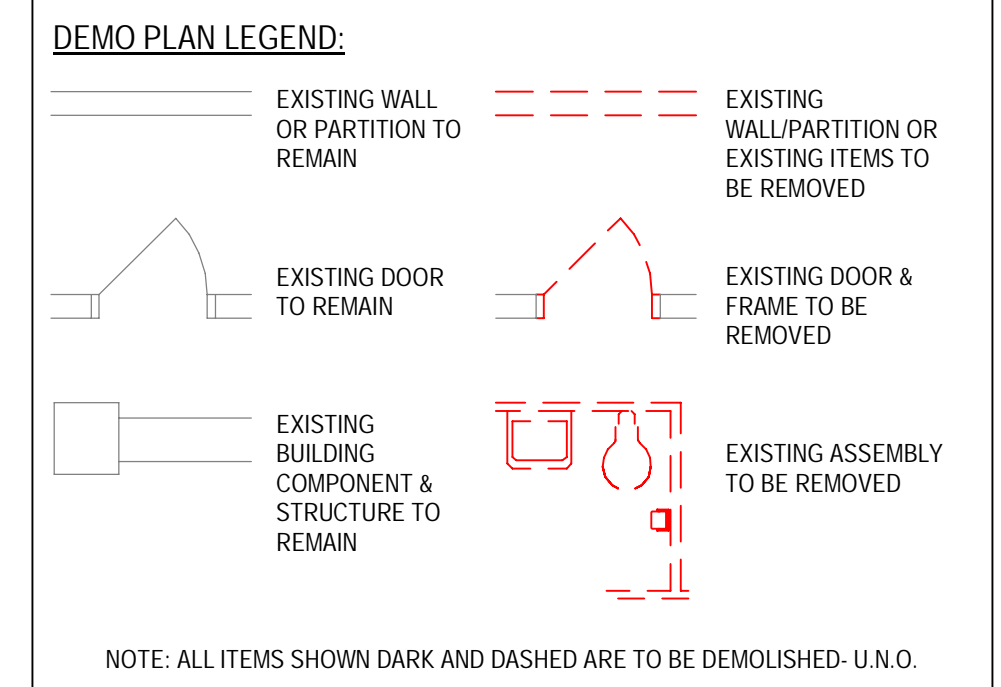
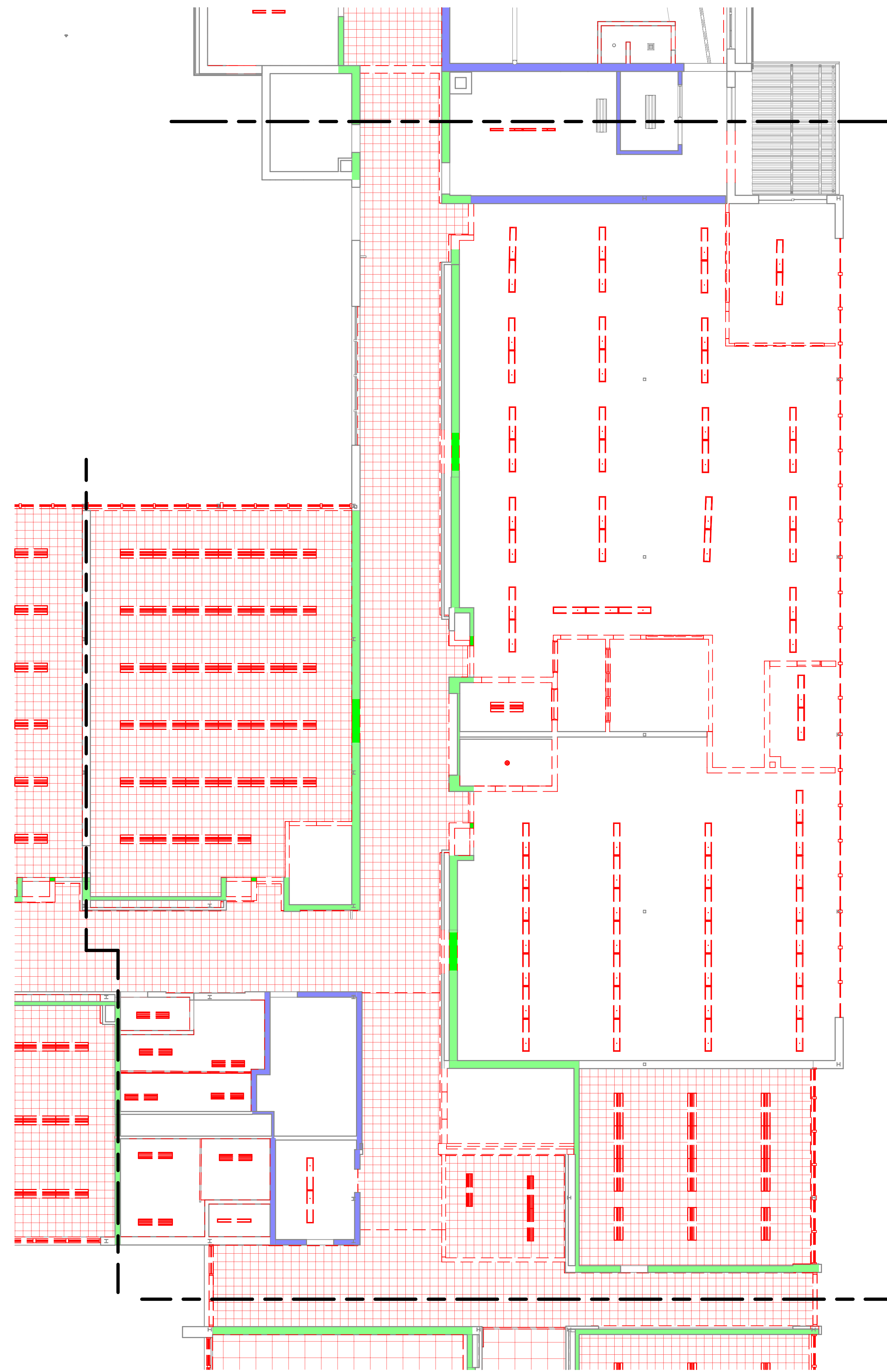


SD - DEMOLITION CEILING PLAN - FIRST LEVEL - AREA D

GRAND RAPIDS PUBLIC SCHOOLS RIVERSIDE MONTESSORI

27-JAN-2025





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DEMOLITION REFLECTED CEILING PLAN - FIRST LEVEL - AREA E
1/8" = 1'-0"

SD - DEMOLITION CEILING PLAN - FIRST LEVEL - AREA E

GRAND RAPIDS PUBLIC SCHOOLS RIVERSIDE MONTESSORI

27-JAN-2025



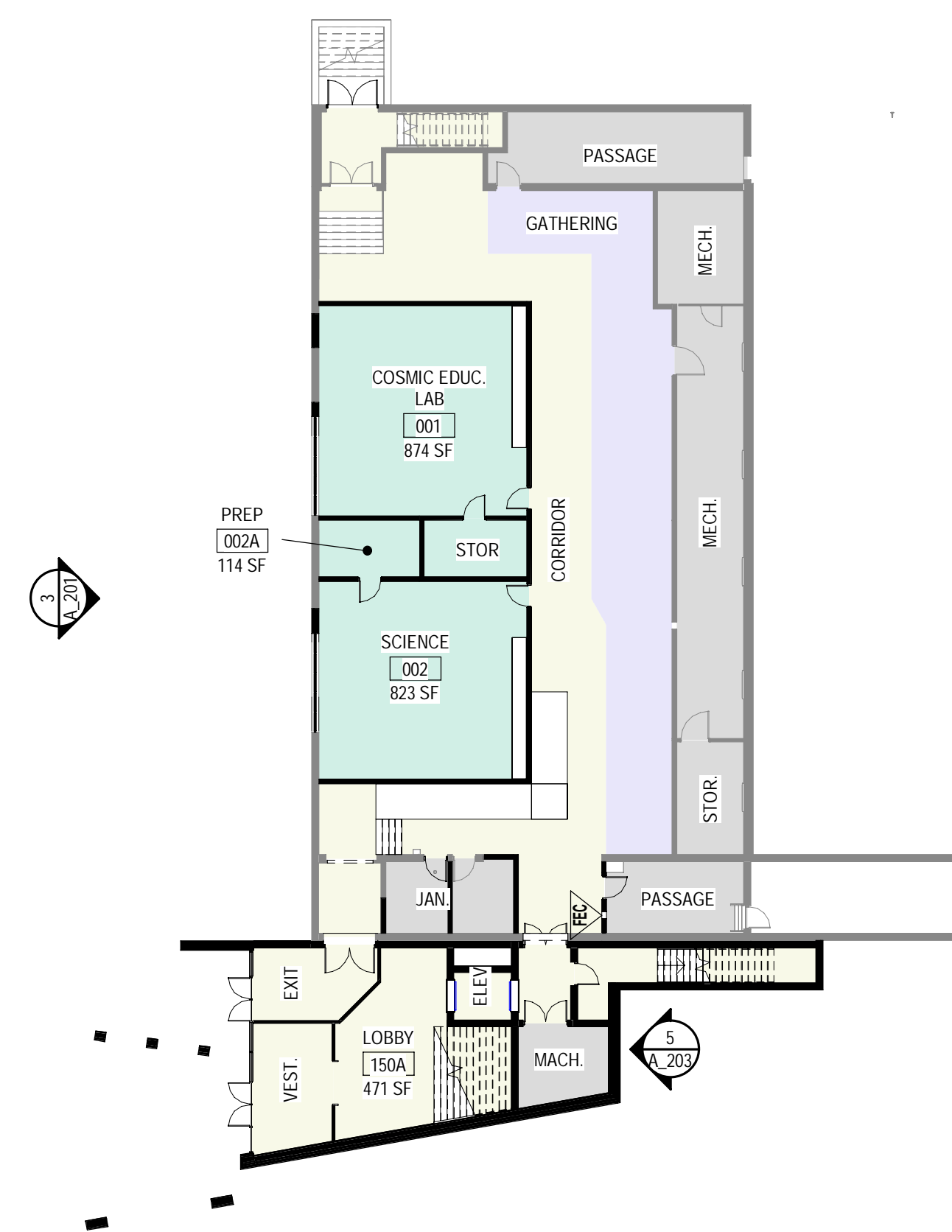
OVERALL PLAN LEGEND

ALL CORRIDORS TO GET NEW 2X2 ACP IN LAY IN GRID WITH BULKHEADS IN SELECT AREAS, NEW SECURITY DOORS AT (3) LOCATIONS AS SHOWN ON PLANS, NEW HANDRAIL AT RAMP AT NORTHERN CORRIDOR 'D' ENTRANCE.

ALL ORIGINAL WINDOWS (ALL EXISTING IN BUILDING EXCEPT CAFETERIA AREA) TO BE REPLACED WITH ENERGY EFFICIENT NEW STOREFRONT WINDOWS WITH MULLION EXTENSIONS, YKK45 XT OR EQUIVALENT, NO OPERABLE WINDOWS

NEW INTERIOR DOORS TO BE SOLID CORE WOOD IN PAINTED HOLLOW METAL FRAME.

NEW TPO ROOF ON GYMNASIUM.

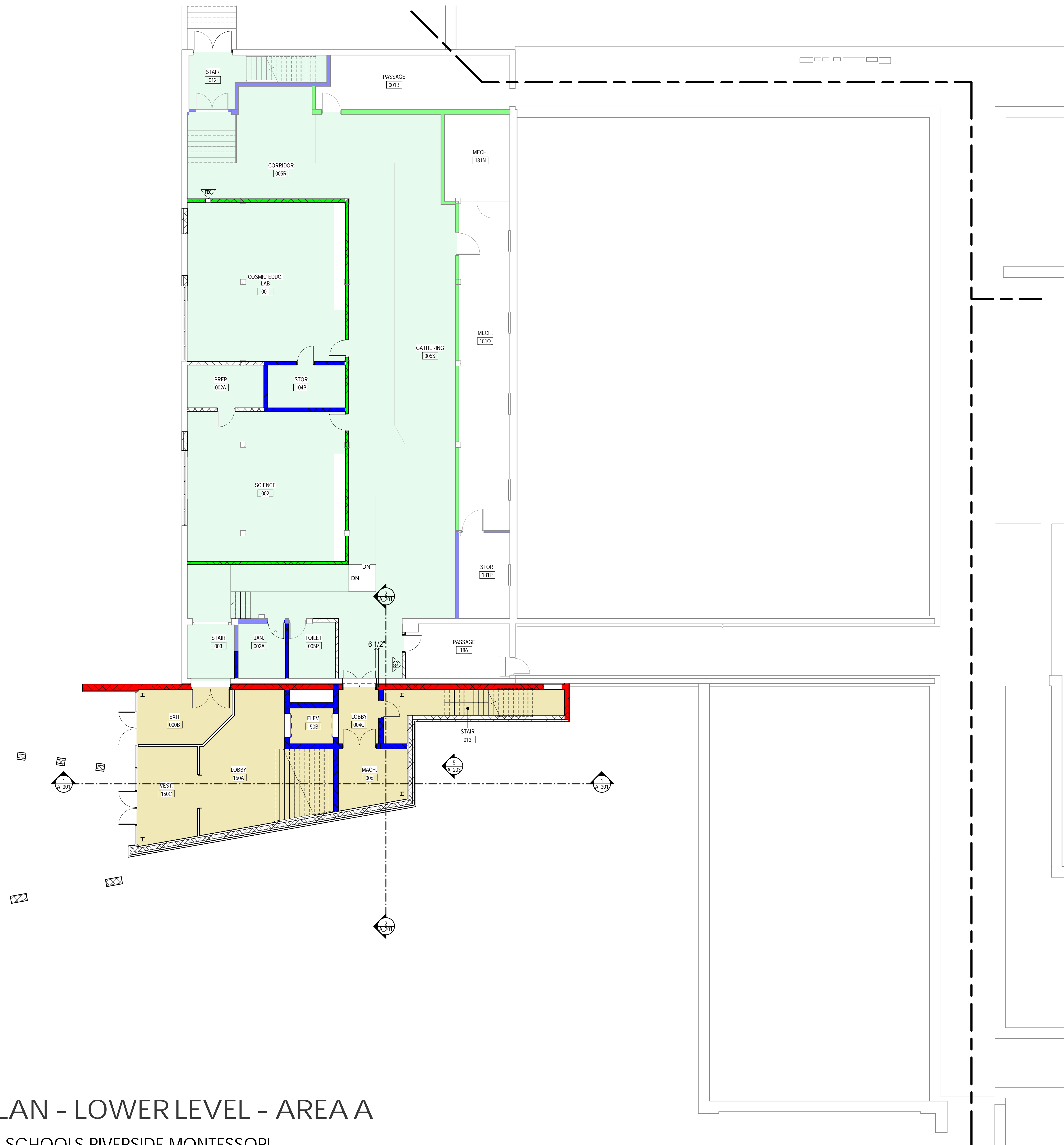


FLOOR PLAN - LOWER LEVEL - OVERALL
1" = 20'-0"



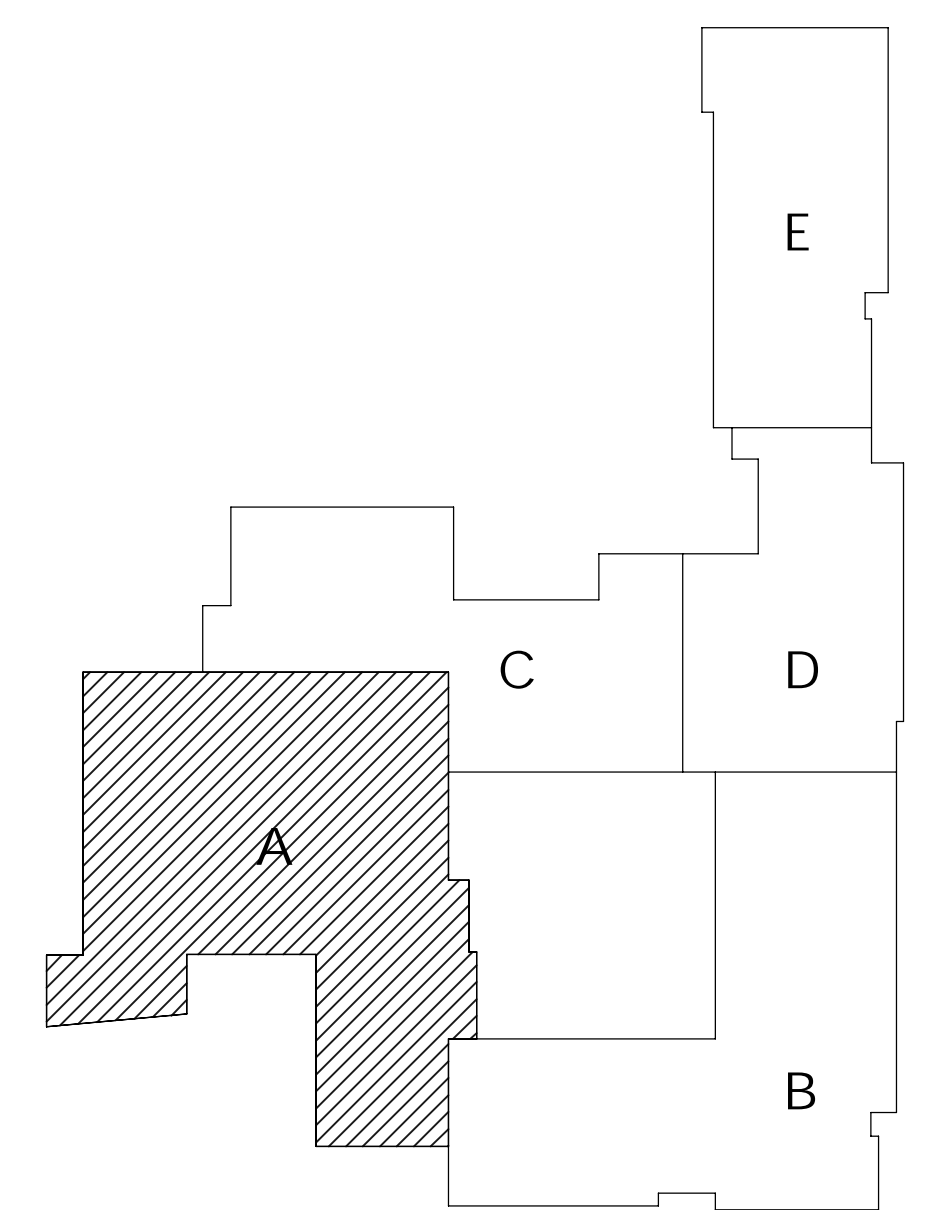
FLOOR PLAN - FIRST LEVEL - OVERALL
1" = 20'-0"

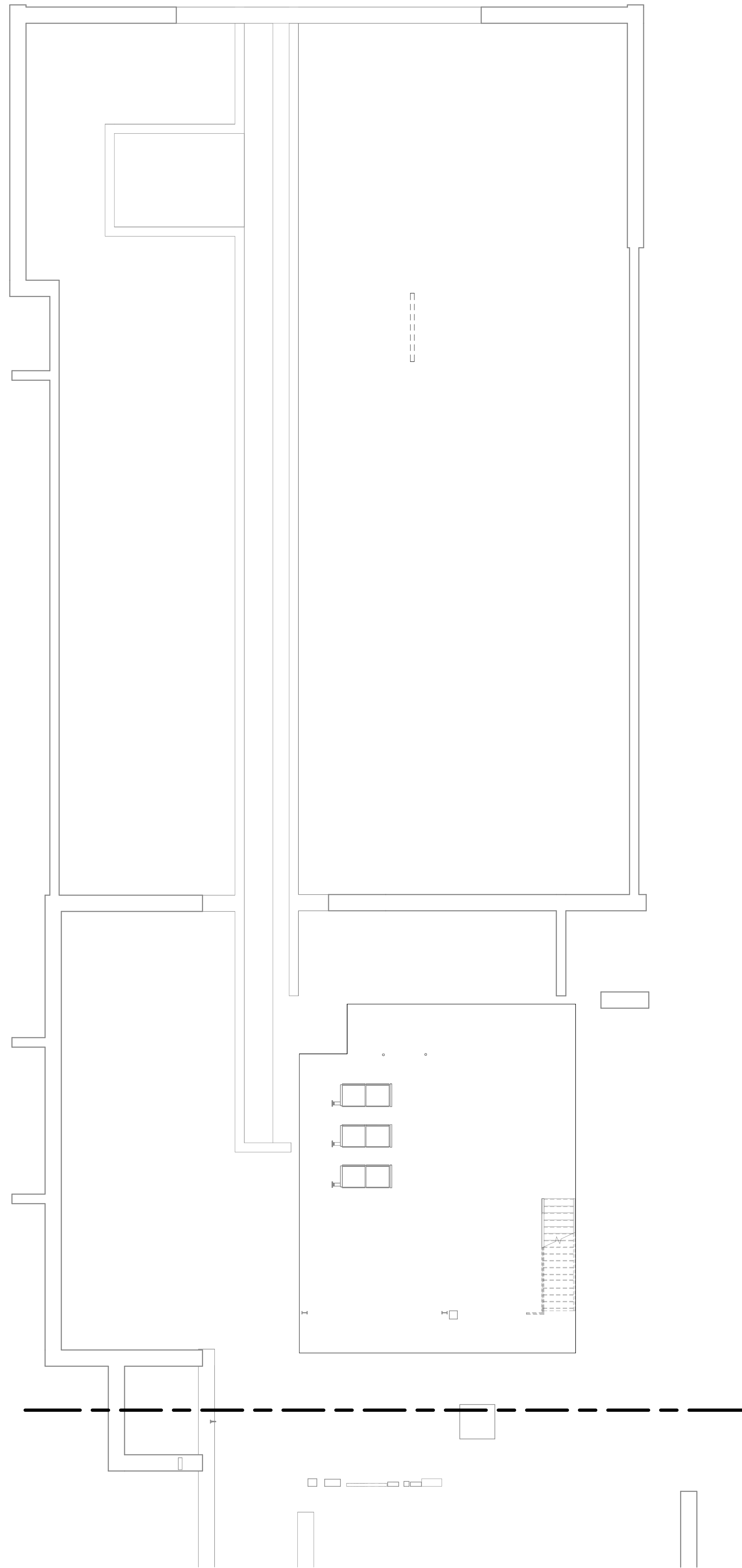




PLAN LEGEND - AREA A

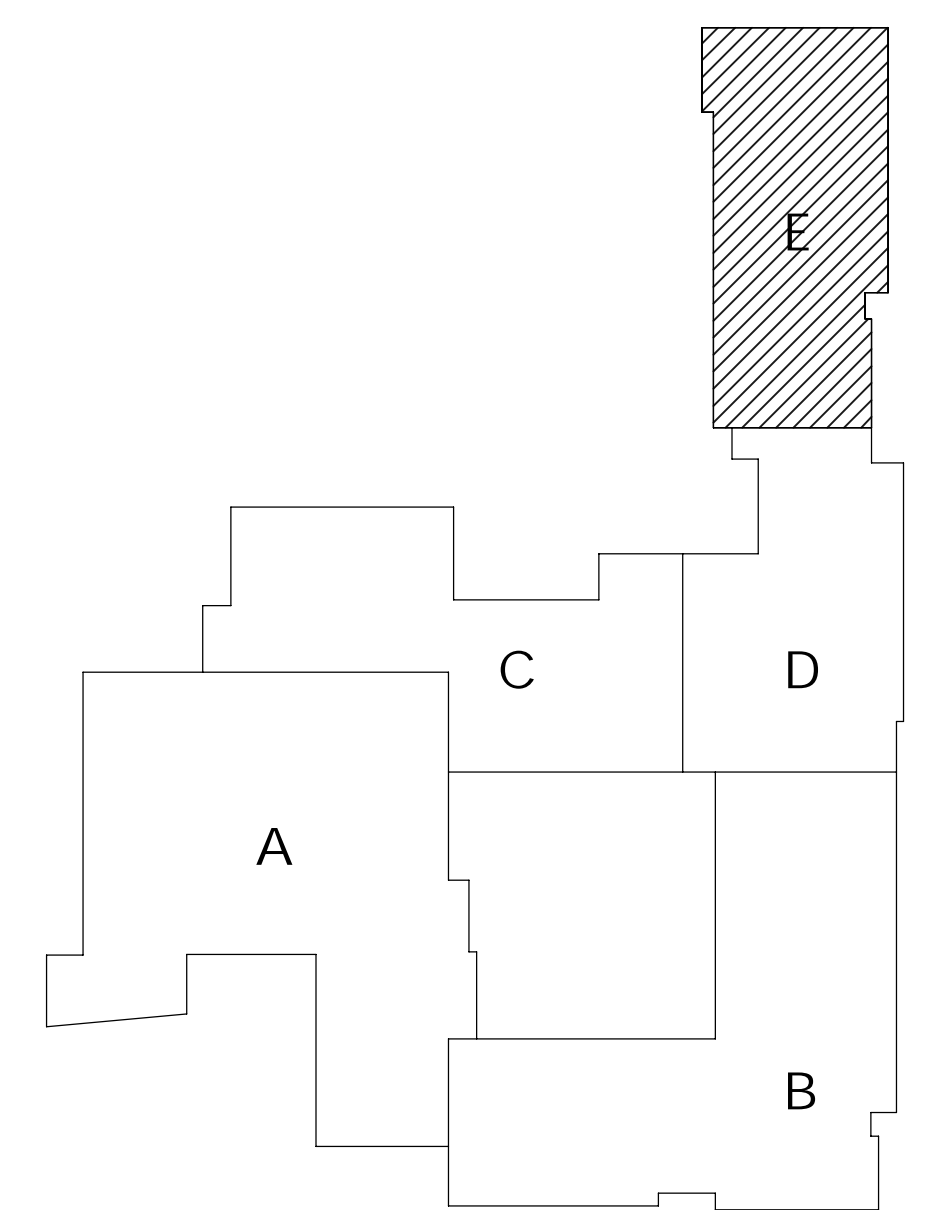
- ALL CORRIDORS TO GET NEW 2X2 ACP IN LAY IN GRID WITH BULKHEADS IN SELECT AREAS. NEW SECURITY DOORS AT (B) LOCATIONS AS SHOWN ON PLANS. NEW HANDRAIL AT RAMP AT NORTHERN CORRIDOR 'D' ENTRANCE.
- NEW ENTRY ADDITION WILL BE FIRE SEPARATED FROM EXISTING BUILDING. STRUCTURE TO BE STEEL FRAME WITH MASONRY INFILL. MIX OF SIDING MATERIALS INCLUDES BRICK, METAL ACM PANEL AND STONE. CURTAIN WALL AT WEST TO BE YKK 750 XT OR EQUAL AND STOREFRONT WINDOWS TO BE YKK45XT OR EQUIVALENT. PASSENGER ELEVATOR WILL BE A 3 STOP HYDRAULIC ELEVATOR. FRONT AND REAR OPENING. NEW STAIR TO LOWER LEVEL AS PART OF ADDITION BUT ACCESSED FROM CORRIDOR 'G'.
- BASEMENT LEVEL RENOVATION WILL INVOLVE NEW CLASSROOMS, NEW RAMP AND STAIR AT SOUTH EXIT. TWO NEW RESTROOMS AND JANITOR'S CLOSET W/MOP SINK. NEW WINDOWS ON THE WEST WALL WILL REQUIRE NEWS OPENINGS CUT INTO MASONRY WALL. NEW 2X2 ACP IN LAY IN GRID WITH BULKHEADS IN SELECT AREAS.

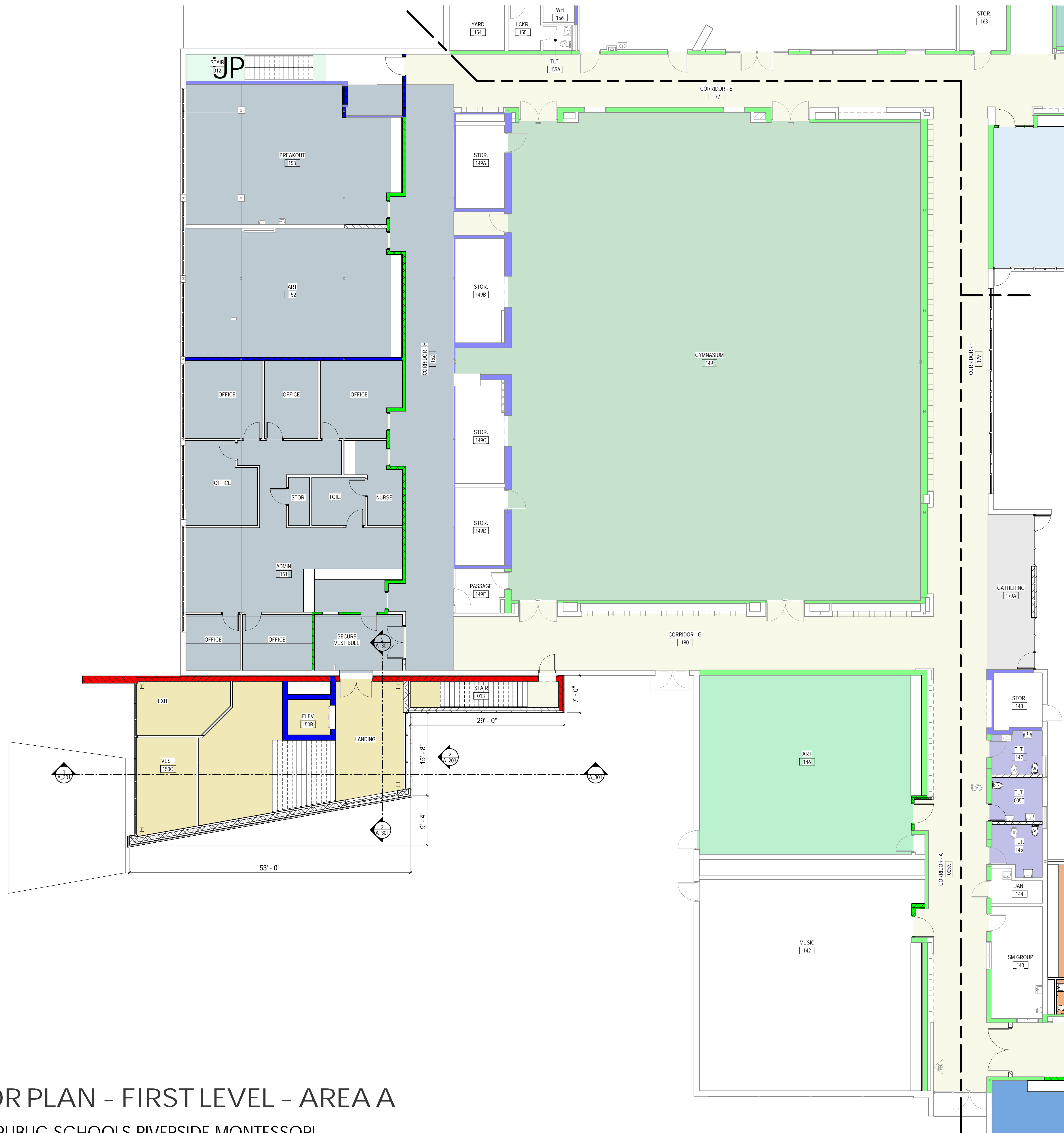




PLAN LEGEND - AREA E

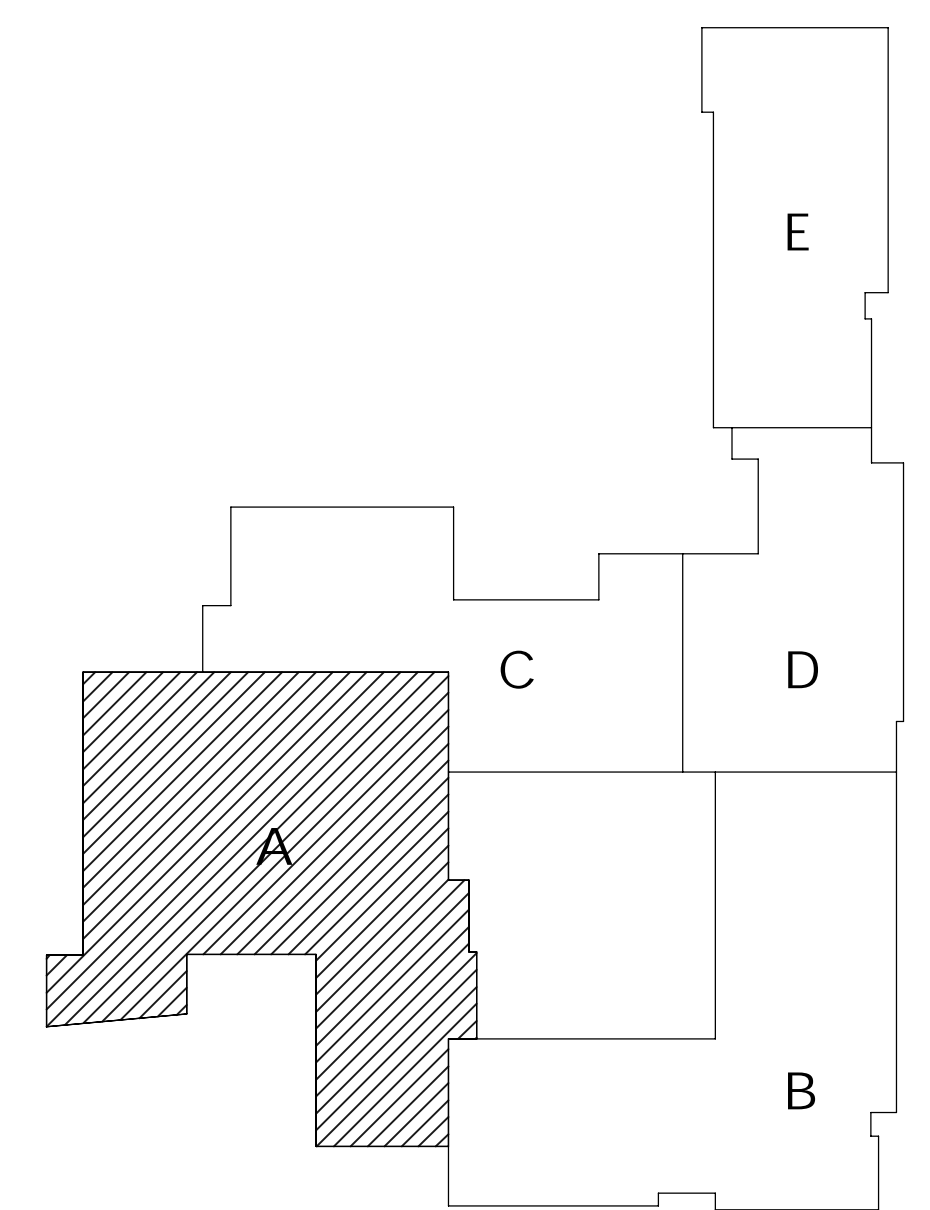
- ALL CORRIDORS TO GET NEW 2X2 ACP IN LAY IN GRID WITH BULKHEADS IN SELECT AREAS. NEW SECURITY DOORS AT (3) LOCATIONS AS SHOWN ON PLANS. NEW HANDRAIL AT RAMP AT NORTHERN CORRIDOR 'D' ENTRANCE.
- GROUP RESTROOM RENOVATIONS INCLUDE REMOVING FIXTURES TO ALLOW FOR BARRIER FREE STALLS AND NEW PARTITIONS FOR BARRIER FREE STALLS. GIRLS 110 RESTROOM REMOVE FIXTURES TO ALLOW FOR BARRIER FREE STALLS AND NEW PARTITIONS FOR BARRIER FREE STALLS.
- CLASSROOMS 6-9 TO RECEIVE NEW 2X2 ACP IN LAY IN GRID. REMOVING CLOSETS AND REPLACING HALL DOORS WITH DOORS INCLUDING SIDELIGHTS TO ALLOW FOR ADA ACCESSIBILITY.
- CLASSROOM 3-5 RENOVATED TO NEW CONFIGURATION WITH NEW DOORS AND NEW 2X2 ACP IN LAY IN GRID. REMOVING CLOSETS AND REPLACING HALL DOORS WITH DOORS INCLUDING SIDELIGHTS TO ALLOW FOR ADA ACCESSIBILITY.





PLAN LEGEND - AREA A

- ALL CORRIDORS TO GET NEW 2X2 ACP IN LAY IN GRID WITH BULKHEADS IN SELECT AREAS. NEW SECURITY DOORS AT (3) LOCATIONS AS SHOWN ON PLANS. NEW HANDRAIL AT RAMP AT NORTHERN CORRIDOR 'D' ENTRANCE.
- NEW ENTRY ADDITION WILL BE FIRE SEPARATED FROM EXISTING BUILDING. STRUCTURE TO BE STEEL FRAME WITH MASONRY INFILL. MIX OF SIDING MATERIALS INCLUDES BRICK, METAL ACM PANEL AND STONE. CURTAIN WALL AT WEST TO BE YKK 750 XT OR EQUAL AND STOREFRONT WINDOWS TO BE YKK45XT OR EQUIVALENT. PASSENGER ELEVATOR WILL BE A 3 STOP HYDRAULIC ELEVATOR. FRONT AND REAR OPENING. NEW STAIR TO LOWER LEVEL AS PART OF ADDITION BUT ACCESSED FROM CORRIDOR 'G'.
- FORMER LOCKER ROOMS AND AREA WEST OF GYMNASIUM WILL BE A COMPLETE BUILD OUT RENOVATION TO INCLUDE ADMINISTRATION SUITE, TWO NEW CLASSROOM SPACES AND NEWLY CREATED CORRIDOR 'H'. NEW WINDOWS ON THE WEST WALL WILL REQUIRE NEWS OPENINGS CUT INTO MASONRY WALL. NEW 2X2 ACP IN LAY IN GRID WITH BULKHEADS IN SELECT AREAS.
- GYMNASIUM RENOVATION TO INCLUDE REFINISHING FLOOR, NEW PAINTED WALLS AND CEILING, ACOUSTICAL WALL PANELS (TWO WALLS, 10' HIGH BY 2" THICK TECTUM). REPLACE BLEACHERS WITH NEW COLLAPSIBLE BLEACHERS- 660+/- SEATS, 90 LINEAR FEET.
- TWO GROUP RESTROOMS ON WEST SIDE OF COURTYARD TO BE FULLY RENOVATION TO THREE SINGLE USE FACILITIES.
- ART 146 TO HAVE WOODEN RISERS REMOVED, NEW 2X2 ACP IN LAY IN GRID CEILING.



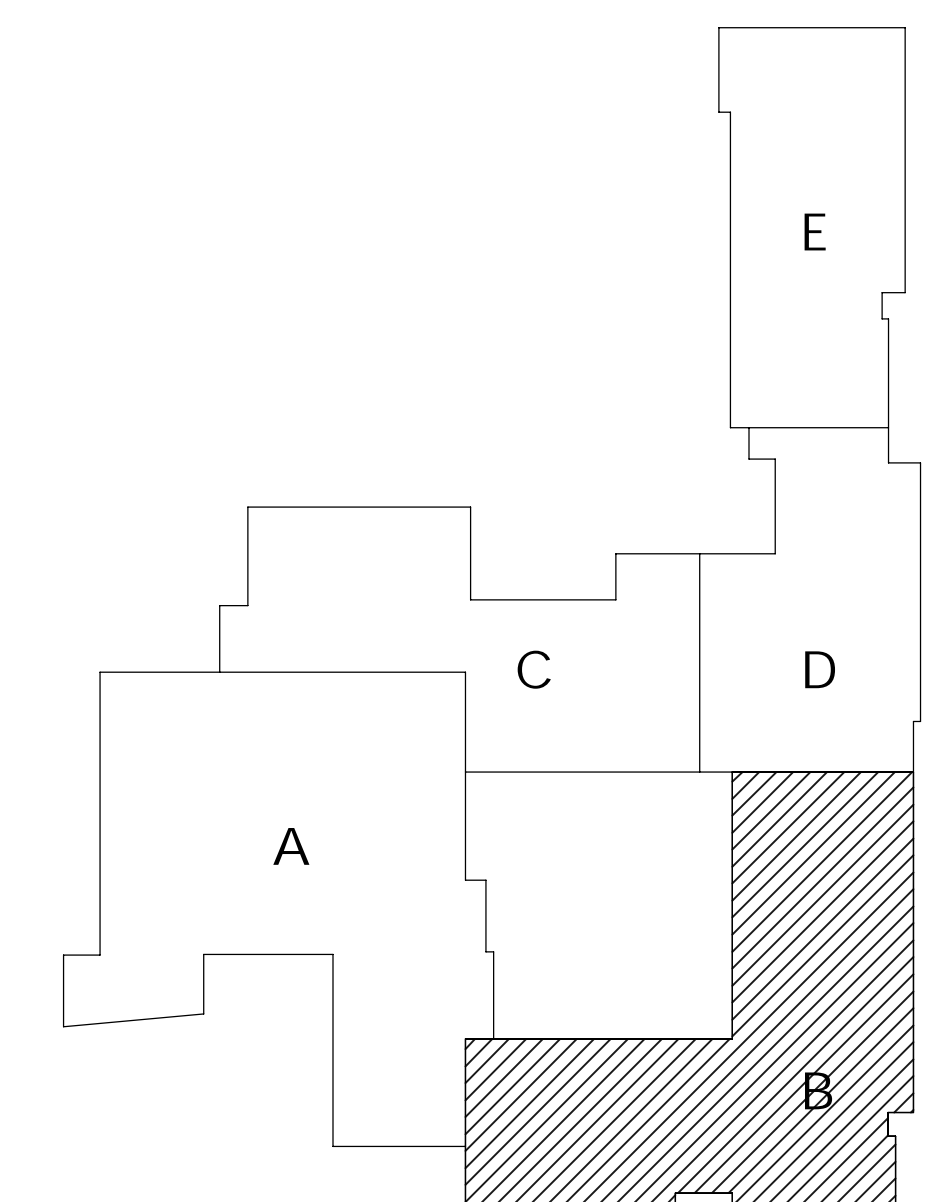
SD - FLOOR PLAN - FIRST LEVEL - AREA A
 GRAND RAPIDS PUBLIC SCHOOLS RIVERSIDE MONTESSORI
 27-JAN-2025





PLAN LEGEND - AREA B

- ALL CORRIDORS TO GET NEW 2X2 ACP IN LAY IN GRID WITH BULKHEADS IN SELECT AREAS. NEW SECURITY DOORS AT (3) LOCATIONS AS SHOWN ON PLANS. NEW HANDRAIL AT RAMP AT NORTHERN CORRIDOR 'D' ENTRANCE.
- CURRENT ENTRY TO BE REMOVED. NEW STOREFRONT GLASS TO REPLACE EXTERIOR ENTRY DOORS.
- WHERE CURRENT ADMIN SUITE IS LOCATED. CONSTRUCT NEW CLASSROOMS AND GATHERING AREA. CEILINGS 2X2 ACP IN LAY IN GRID.
- 3 CLASSROOMS ON SOUTHERN SIDE OF COURTYARD RENOVATIONS TO INCLUDE REMOVING CLOSETS AND REPLACING HALL DOORS WITH DOORS INCLUDING SIDELIGHTS TO ALLOW FOR ADA ACCESSIBILITY. NEW SINGLE USE BATHROOMS TO BE ADDED TO EACH CLASSROOM (3). NEW DOORS TO BE ADDED AT EXTERIOR TO COURTYARD, AND NEW 2X2 ACP IN LAY IN GRID.
- 4 CLASSROOMS ON EASTERN SIDE OF COURTYARD RENOVATIONS TO INCLUDE REMOVING DIVIDING WALLS AND RECONSTRUCTING INTO THREE CLASSROOMS WITH ADDED SINGLE USE BATHROOMS. NEW DOORS TO BE ADDED AT EXTERIOR TO COURTYARD, AND NEW 2X2 ACP IN LAY IN GRID.
- SIX REMAINING CLASSROOM RENOVATIONS TO INCLUDE REMOVING CLOSETS AND REPLACING HALL DOORS WITH DOORS INCLUDING SIDELIGHTS TO ALLOW FOR ADA ACCESSIBILITY AND NEW 2X2 ACP IN LAY IN GRID.
- GROUP RESTROOM RENOVATIONS INCLUDE REMOVING FIXTURES TO ALLOW FOR BARRIER FREE STALLS AND NEW PARTITIONS FOR BARRIER FREE STALLS. TWO GROUP RESTROOMS ON WEST SIDE OF COURTYARD TO BE FULLY RENOVATION TO THREE SINGLE USE FACILITIES.



SD - FLOOR PLAN - FIRST LEVEL - AREA B

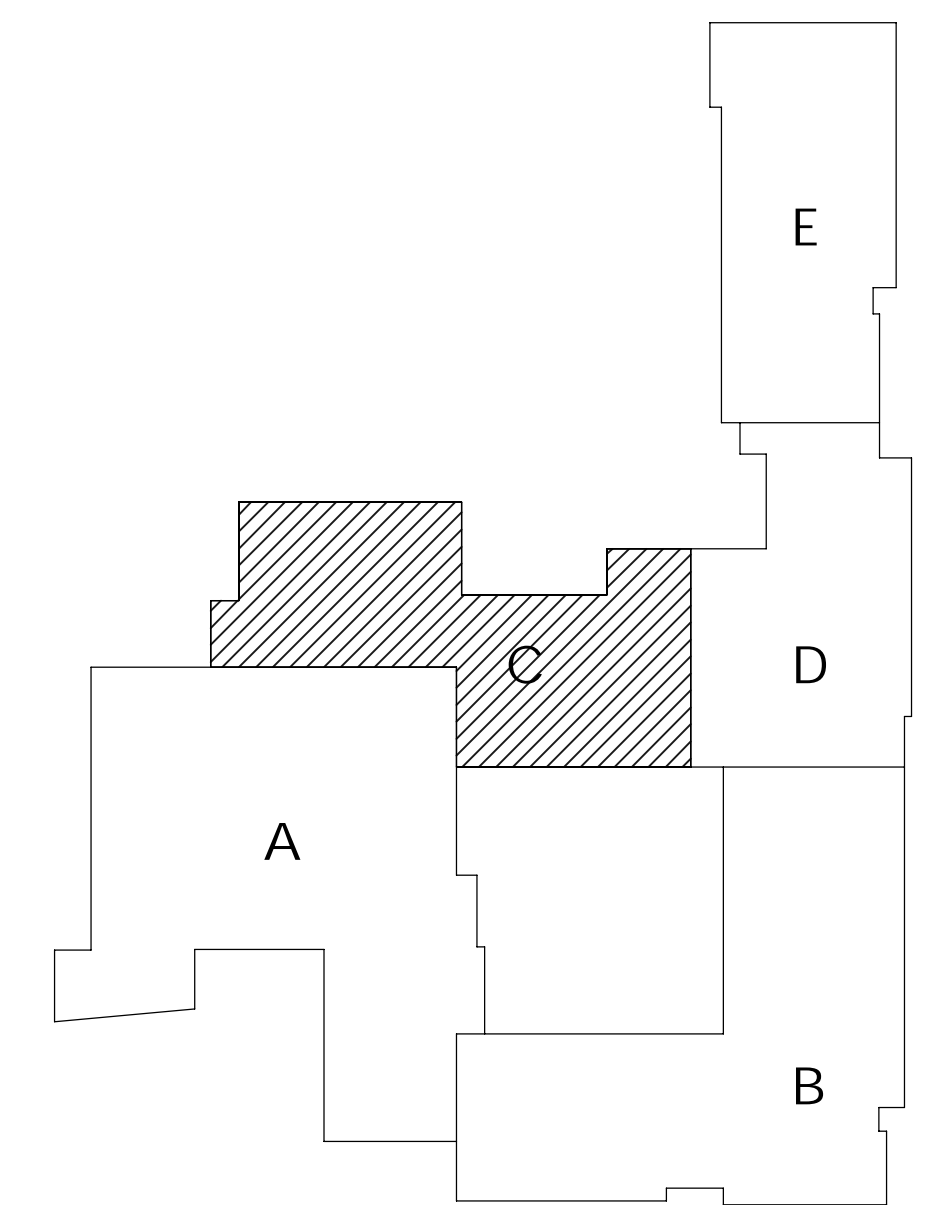
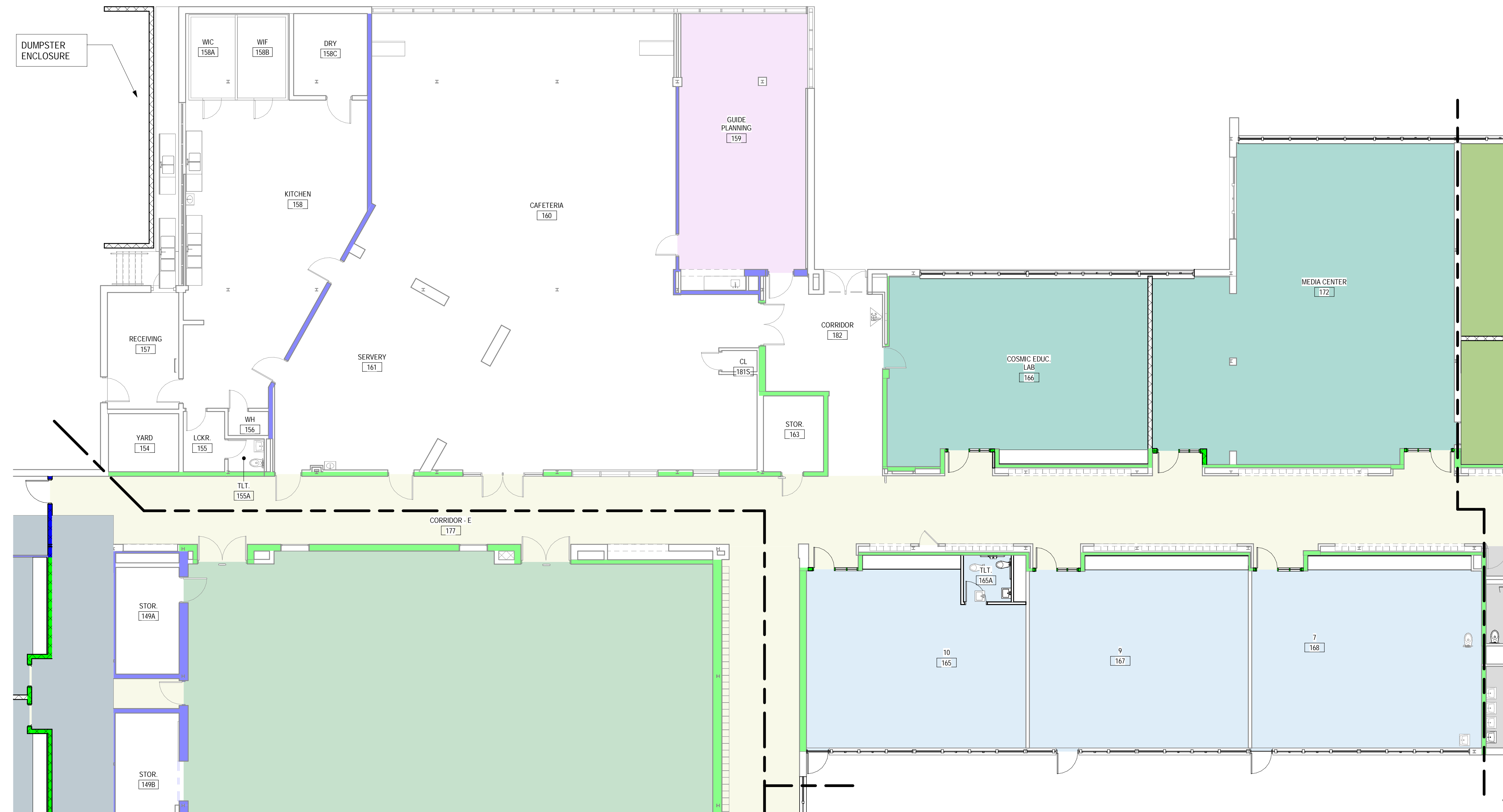
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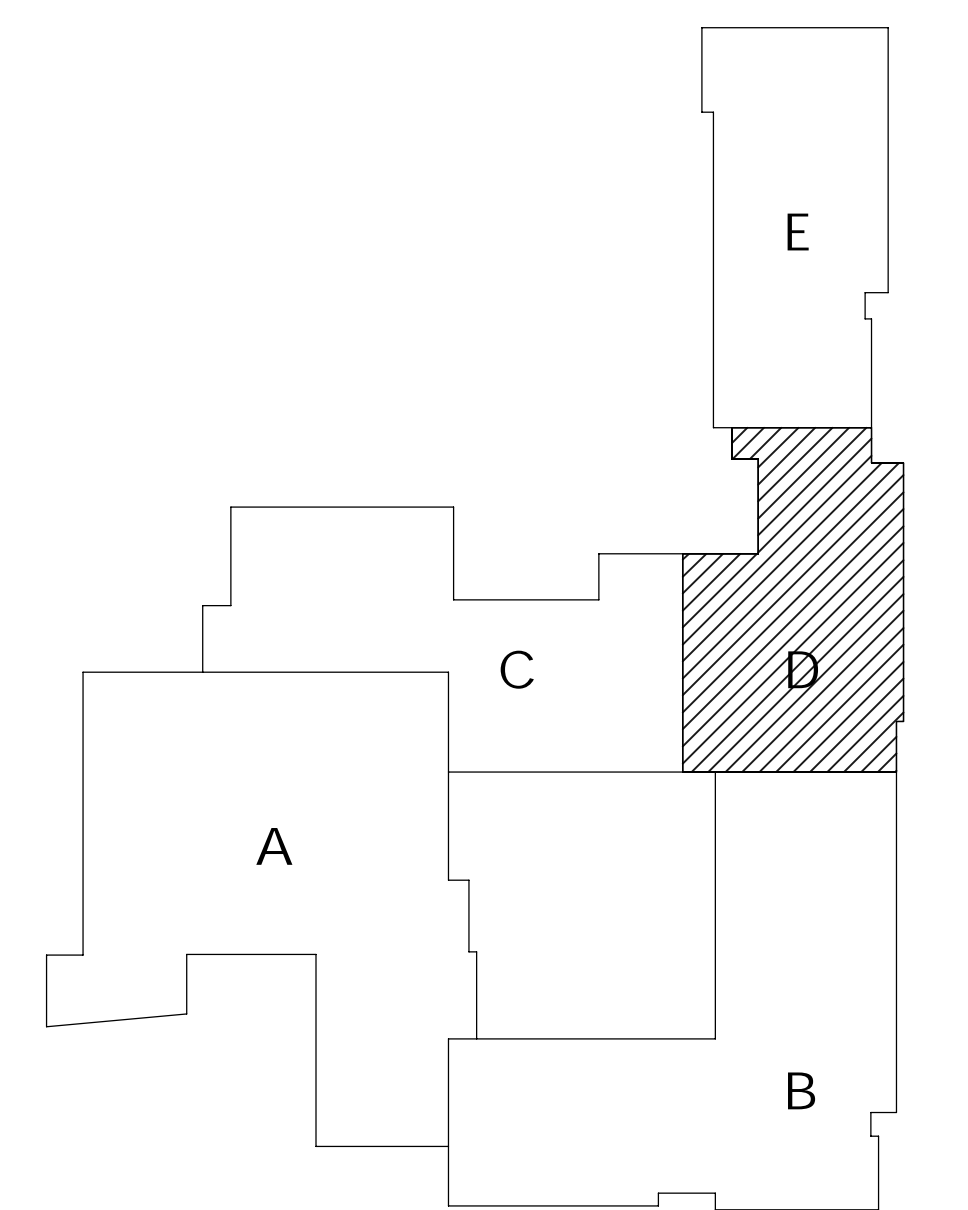
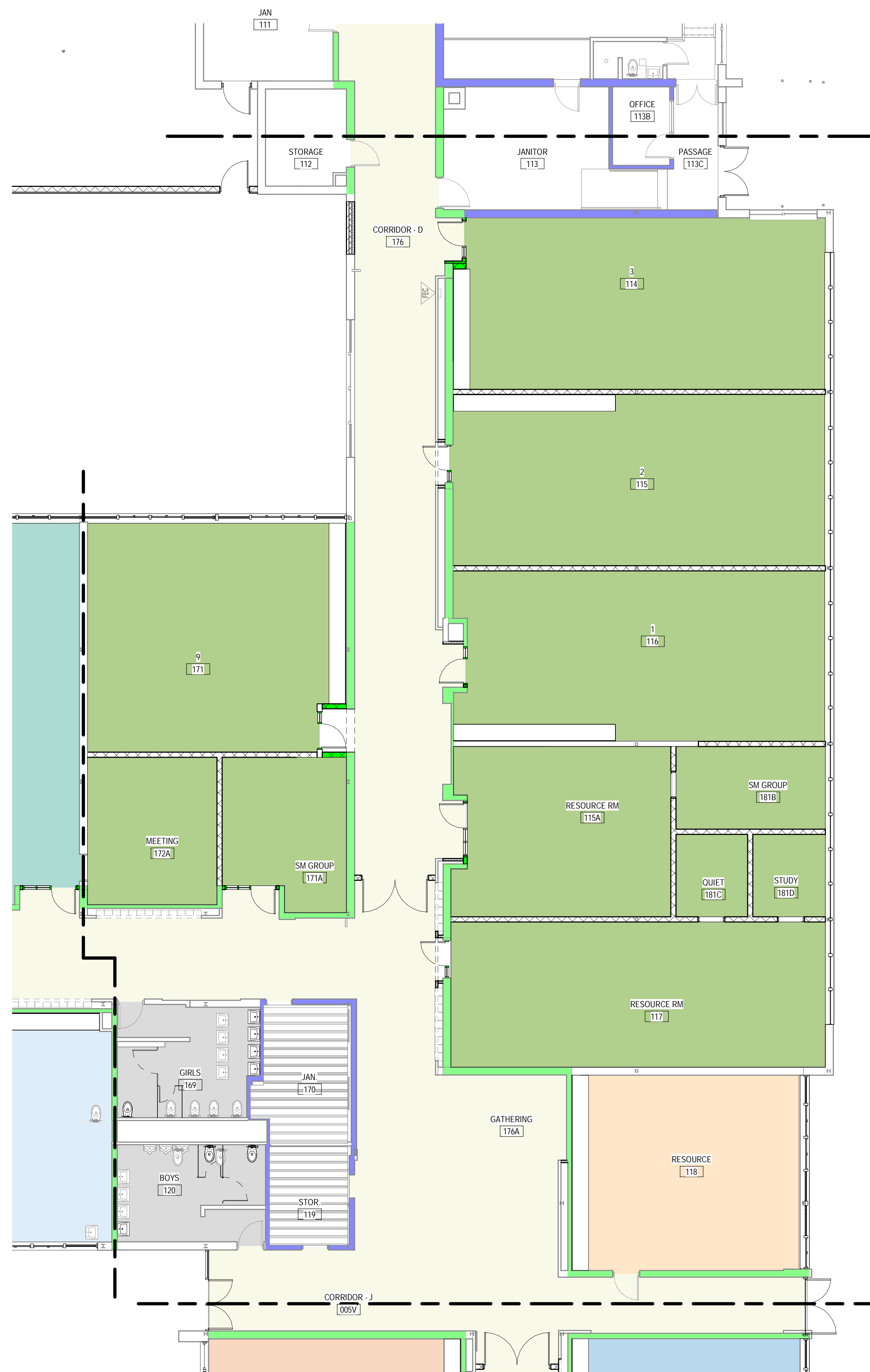
PLAN LEGEND - AREA C

- ALL CORRIDORS TO GET NEW 2X2 ACP IN LAY IN GRID WITH BULKHEADS IN SELECT AREAS. NEW SECURITY DOORS AT (3) LOCATIONS AS SHOWN ON PLANS, NEW HANDRAIL AT RAMP AT NORTHERN CORRIDOR 'D' ENTRANCE.
- GUIDE PLANNING 159 TO GET PAINT AND NEW CEILING
- STORAGE ROOM REMOVED FROM COSMIC LAB AREA. ALL DOORS AND CLOSETS IN COSMIC LAB AND MEDIA CENTER TO BE REMOVED AND REPLACED WITH DOORS INCLUDING SIDELIGHTS TO ALLOW FOR ADA ACCESSIBILITY. NEW 2X2 ACP IN LAY IN GRID IN BOTH SPACES.
- THREE CLASSROOMS TO NORTH OF COURTYARD RENOVATIONS TO INCLUDE REMOVING CLOSETS AND REPLACING HALL DOORS WITH DOORS INCLUDING SIDELIGHTS TO ALLOW FOR ADA ACCESSIBILITY. NEW DOORS TO BE ADDED AT EXTERIOR TO COURTYARD, AND NEW 2X2 ACP IN LAY IN GRID. NEW SINGLE USE BATHROOM TO BE ADDED TO ONE CLASSROOM (1).



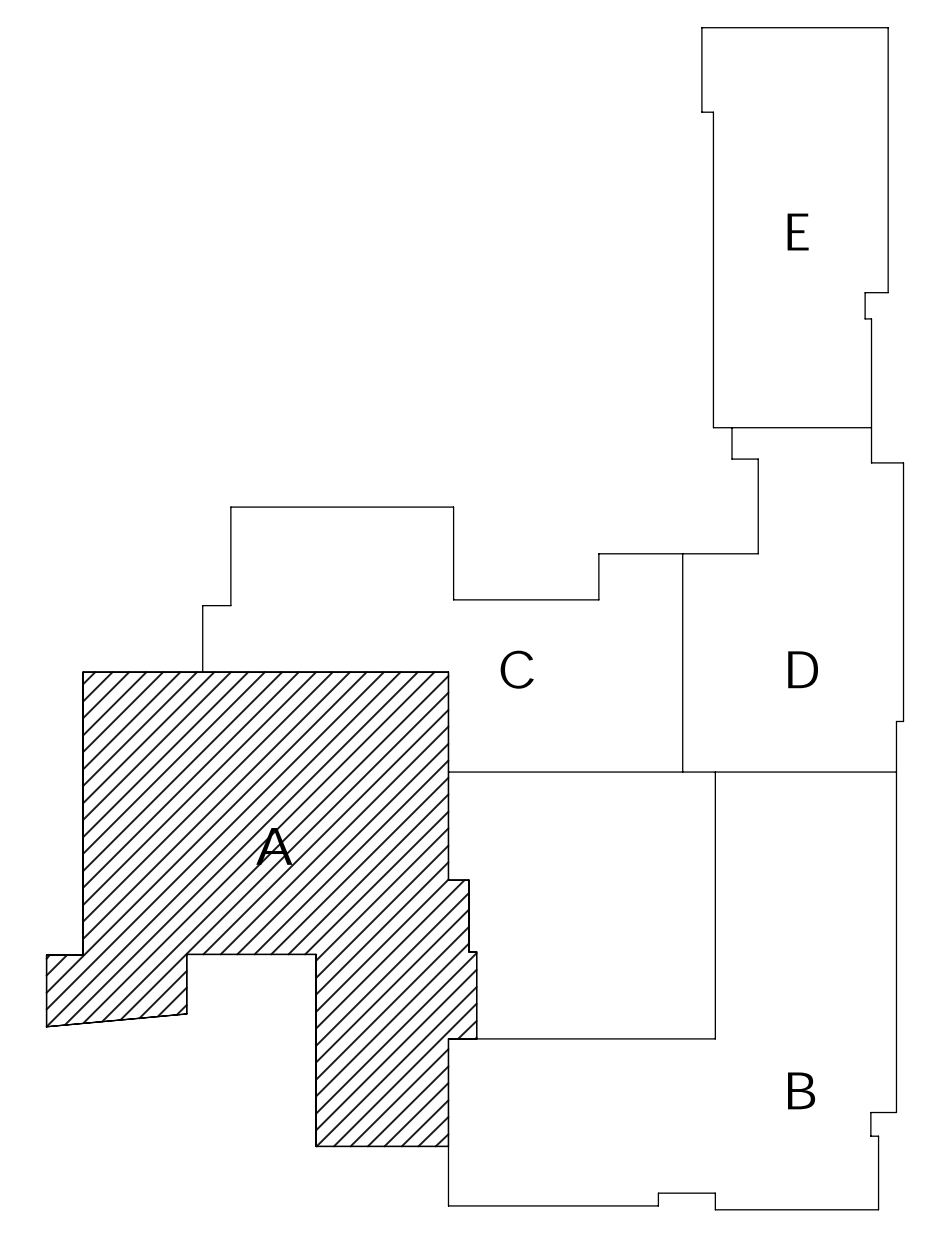
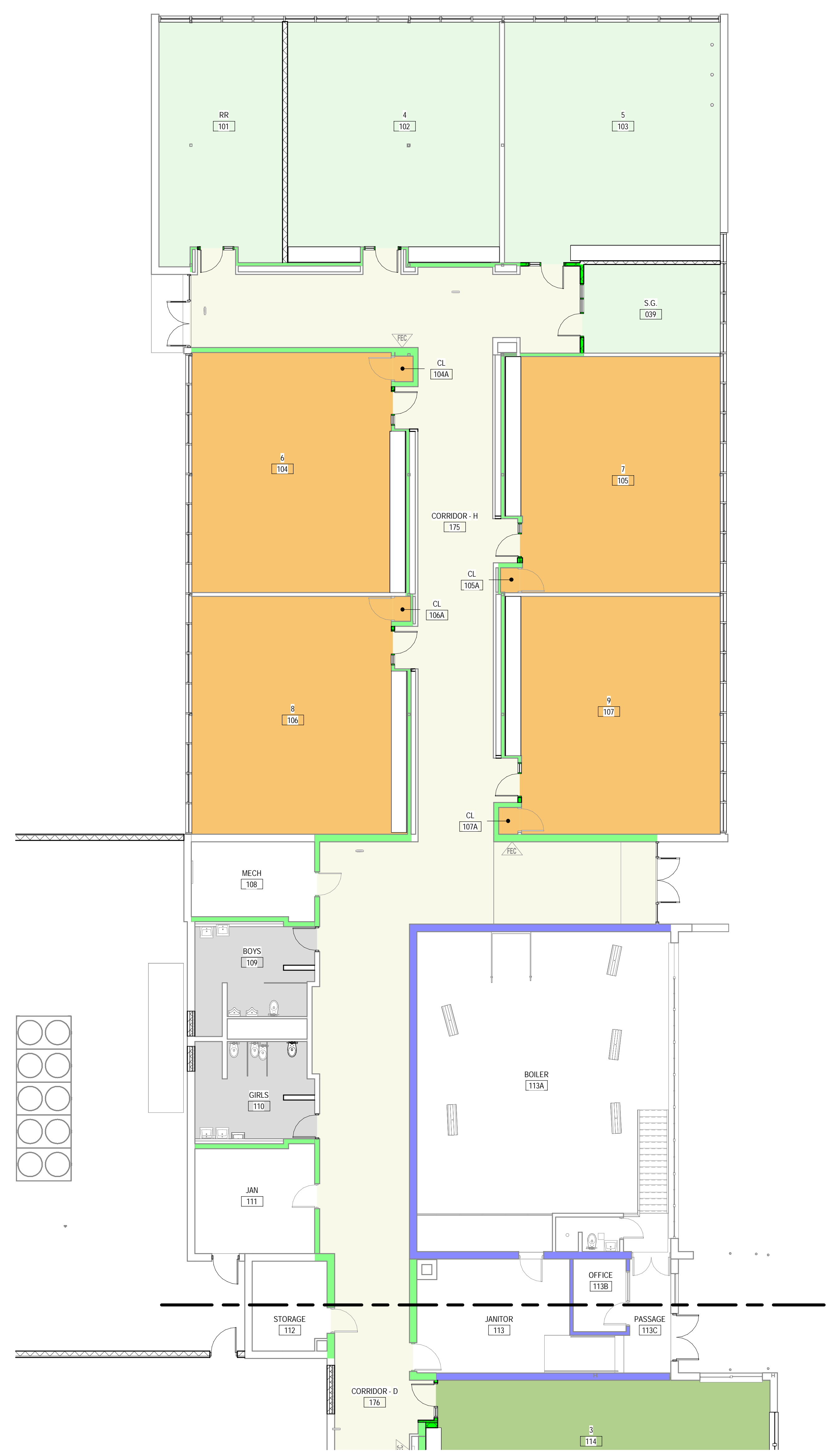
PLAN LEGEND - AREA D

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- RESOURCE 118 TO RECEIVE NEW 2X2 ACP IN LAY IN GRID.
- ALL OTHER CLASSROOM SPACES IN PLAN AREA D TO RENOVATED INTO NEW CLASSROOM SPACES INCLUDING REMOVING CLOSETS AND REPLACING HALL DOORS WITH DOORS INCLUDING SIDELIGHTS TO ALLOW FOR ADA ACCESSIBILITY AND ADDING NEW DOORS AS REQUIRED. ALL ROOMS TO RECEIVE NEW 2X2 ACP IN LAY IN GRID.
- GROUP RESTROOM RENOVATIONS INCLUDE REMOVING FIXTURES TO ALLOW FOR BARRIER FREE STALLS AND NEW PARTITIONS FOR BARRIER FREE STALLS. TWO NEW LAVATORIES ADDED. IN GIRLS ROOM THREE LAVATORIES RELOCATED OR REPLACED.



PLAN LEGEND - AREA E

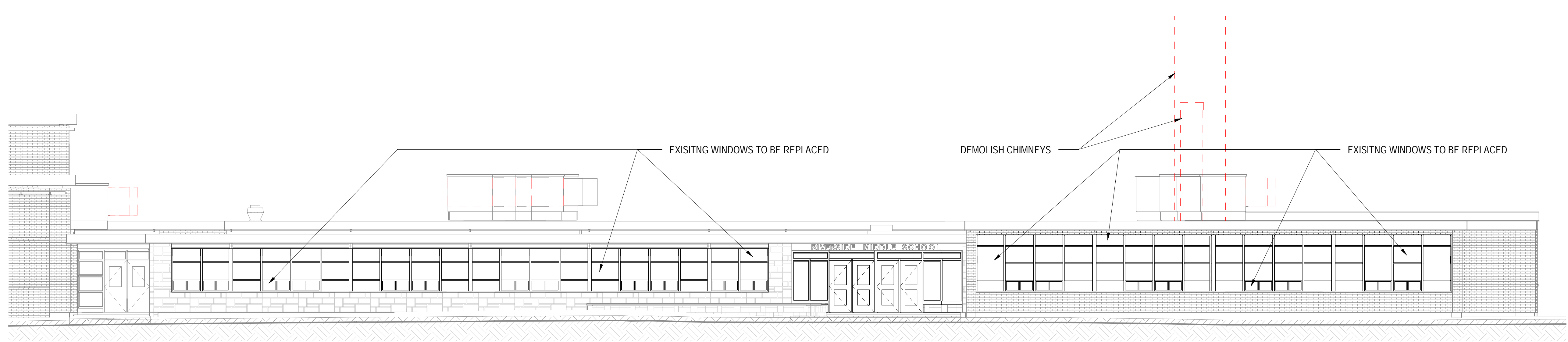
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- GROUP RESTROOM RENOVATIONS INCLUDE REMOVING FIXTURES TO ALLOW FOR BARRIER FREE STALLS AND NEW PARTITIONS FOR BARRIER FREE STALLS. GIRLS 110 RESTROOM REMOVE FIXTURES TO ALLOW FOR BARRIER FREE STALLS AND NEW PARTITIONS FOR BARRIER FREE STALLS.
- CLASSROOMS 6-9 TO RECEIVE NEW 2X2 ACP IN LAY IN GRID. REMOVING CLOSETS AND REPLACING HALL DOORS WITH DOORS INCLUDING SIDELIGHTS TO ALLOW FOR ADA ACCESSIBILITY.
- CLASSROOM 3-5 RENOVATED TO NEW CONFIGURATION WITH NEW DOORS AND NEW 2X2 ACP IN LAY IN GRID. REMOVING CLOSETS AND REPLACING HALL DOORS WITH DOORS INCLUDING SIDELIGHTS TO ALLOW FOR ADA ACCESSIBILITY.



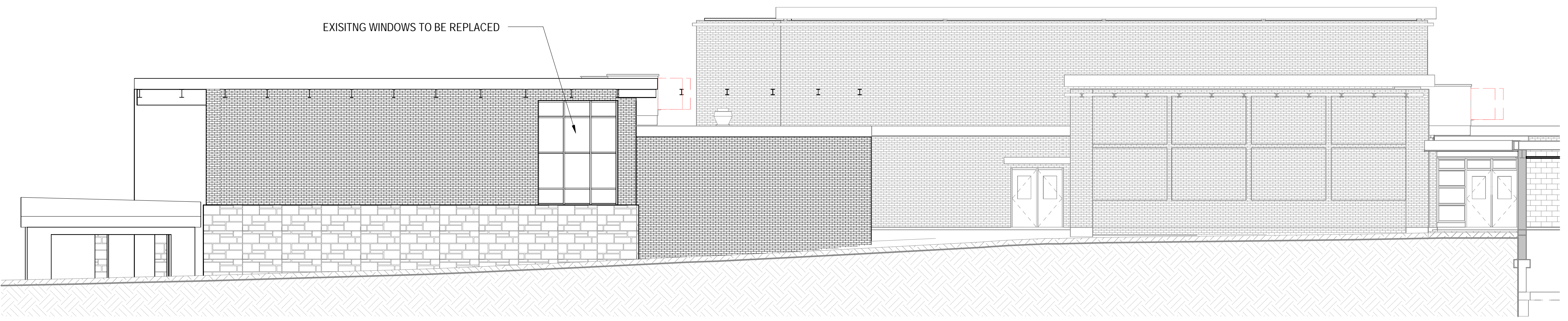
SD - FLOOR PLAN - FIRST LEVEL - AREA E
 GRAND RAPIDS PUBLIC SCHOOLS RIVERSIDE MONTESSORI
 27-JAN-2025



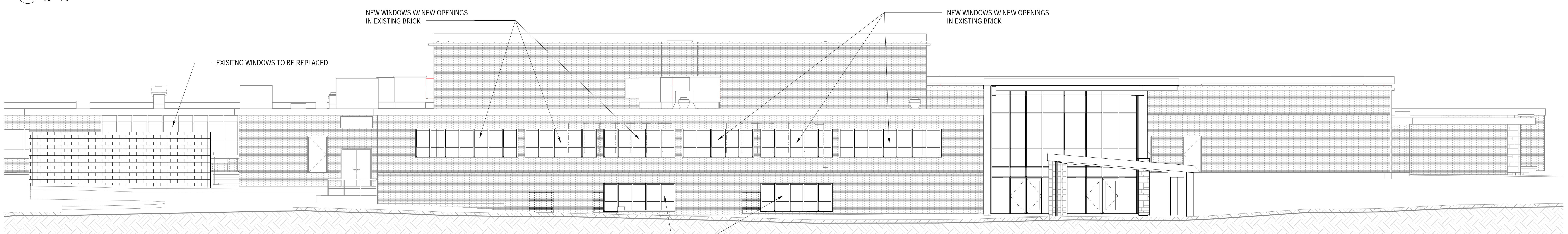
- EXTERIOR ELEVATION GENERAL NOTES:**
1. ALL WALL CAPS, VENTS, LOUVERS, SURFACE MOUNTED PIPES, ETC. ARE TO BE DEMOLISHED.
 2. ALL SOFFITS AND FASCIAS TO ALIGN & MATCH.
 3. SLOPE ALL GUTTERS 1/8" PER FOOT (MIN.) TO DOWNSPOUTS.
 4. USE DIVERTERS @ ENDS OF VALLEYS WITH GUTTERS.
 5. EXTERIOR WALL JOINTS ARE TO BE SPACED @ 24" O.C.
 6. INTERIOR & EXTERIOR CONTROL JOINTS ON THE SAME WALL ARE TO ALIGN.
 7. CONNECT ALL DOWNSPOUTS TO CIVIL DRAIN LEADS. COORDINATE WITH CIVIL.
 8. ALL EXPOSED WOOD BUILDING MATERIALS TO BE COVERED WITH BREAK METAL.



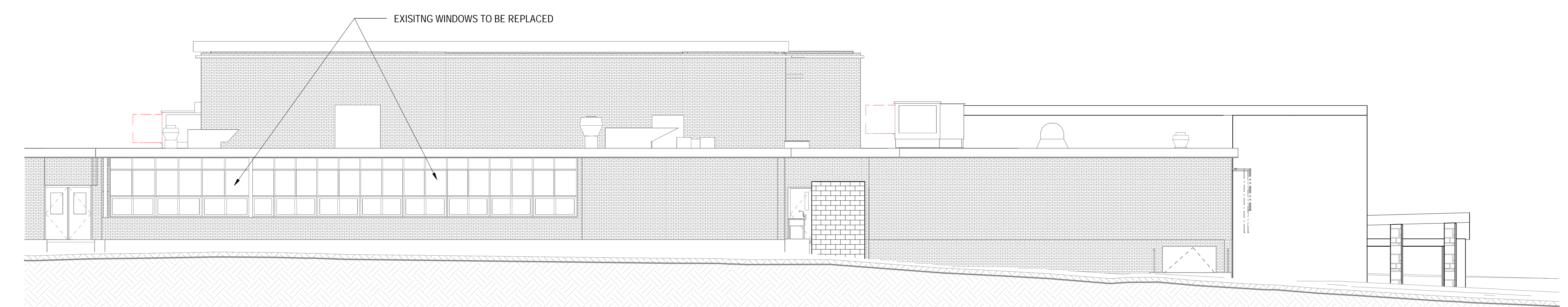
1 EXTERIOR ELEVATION - SOUTH (EAST)
A-100 1/8" = 1'-0"



2 EXTERIOR ELEVATION - SOUTH (WEST)
A-100 1/8" = 1'-0"

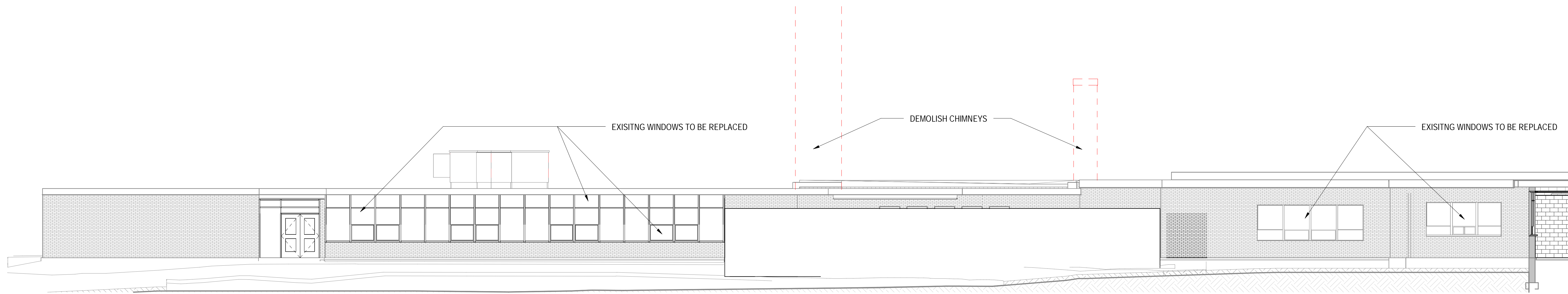


3 EXTERIOR ELEVATION - WEST (SOUTH)
A-100 1/8" = 1'-0"

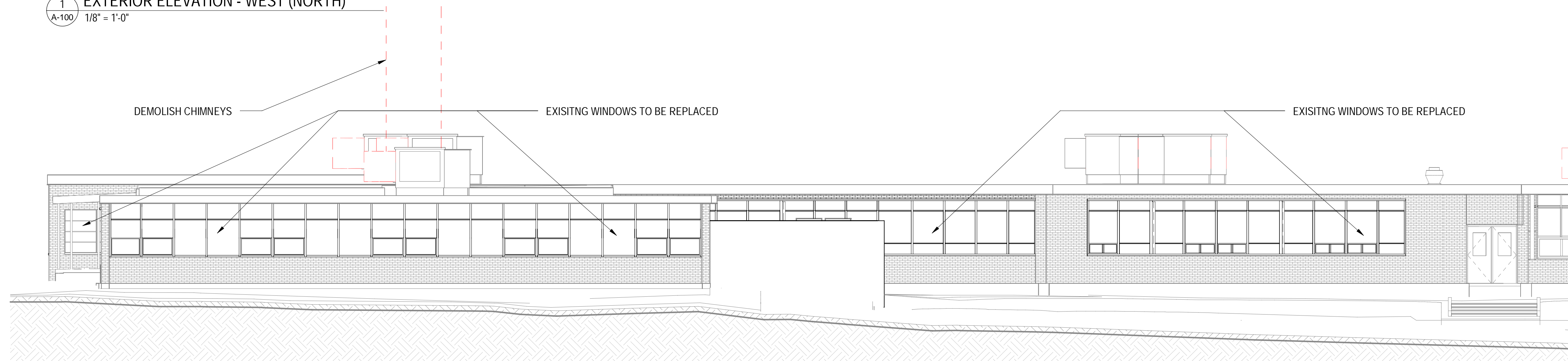


4 EXTERIOR ELEVATION - NORTH (WEST)
A-100 1/8" = 1'-0"

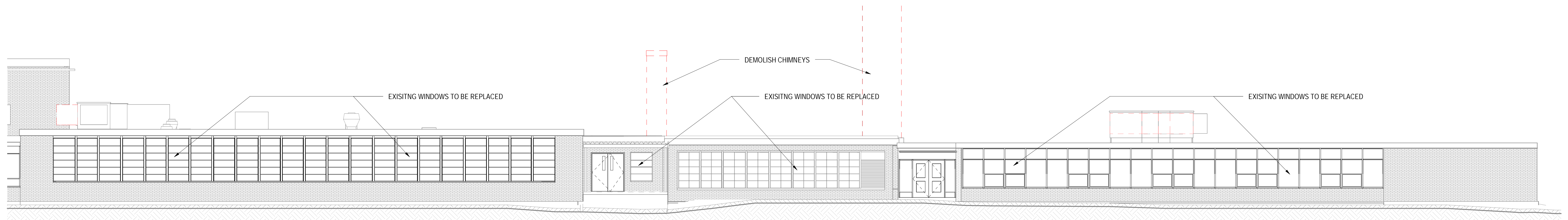
- EXTERIOR ELEVATION GENERAL NOTES:**
1. ALL WALL CAPS, VENTS, LOWERS, SURFACE MOUNTED PIPES, ETC. ARE TO BE DEMOLISHED.
 2. ALL SOFFITS AND FASCIAS TO ALIGN & MATCH.
 3. SLOPE ALL GUTTERS 1/8" PER FOOT (MIN.) TO DOWNSPOUTS.
 4. USE DIVERTERS @ ENDS OF VALLEYS WITH GUTTERS.
 5. EXTERIOR WALL JOINTS ARE TO BE SPACED @ 24" O.C.
 6. INTERIOR & EXTERIOR CONTROL JOINTS ON THE SAME WALL ARE TO ALIGN.
 7. CONNECT ALL DOWNSPOUTS TO CIVIL DRAIN LEADS. COORDINATE WITH CIVIL.
 8. ALL EXPOSED WOOD BUILDING MATERIALS TO BE COVERED WITH BREAK METAL.



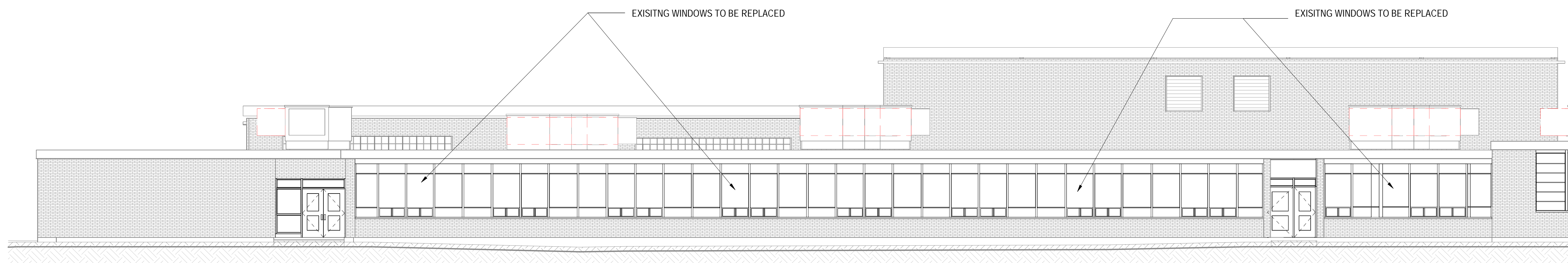
1 EXTERIOR ELEVATION - WEST (NORTH)
A-100 1/8" = 1'-0"



2 EXTERIOR ELEVATION - NORTH (EAST)
A-100 1/8" = 1'-0"

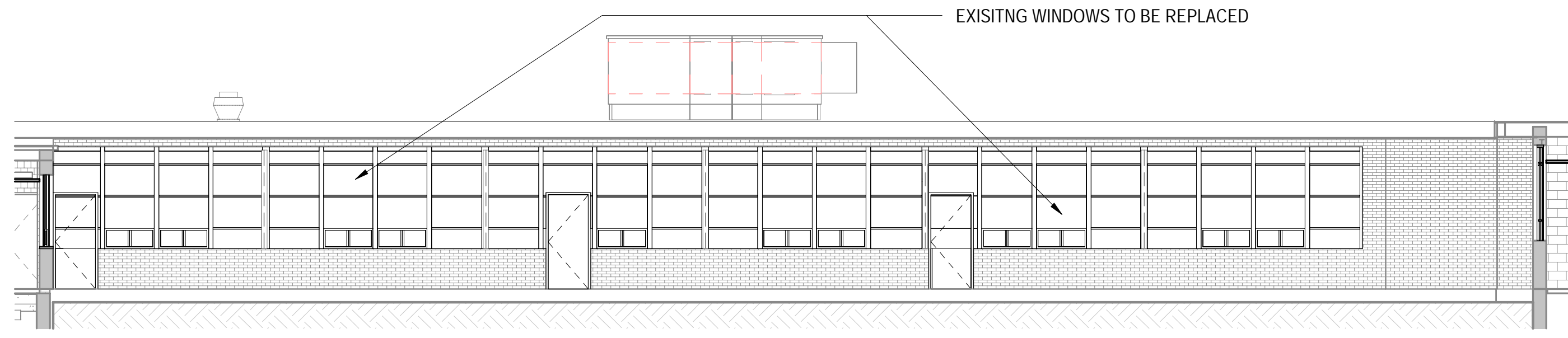


3 EXTERIOR ELEVATION - EAST (NORTH)
A-100 1/8" = 1'-0"

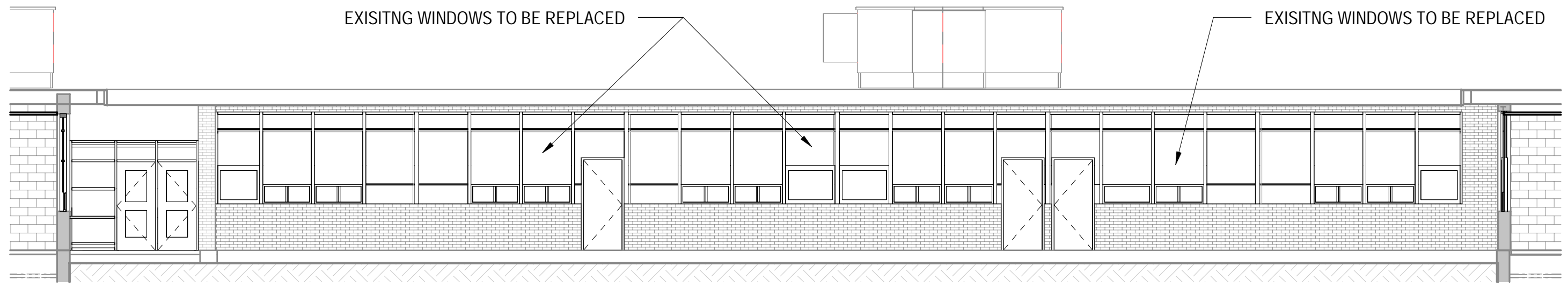


4 EXTERIOR ELEVATION - EAST (SOUTH)
A-100 1/8" = 1'-0"

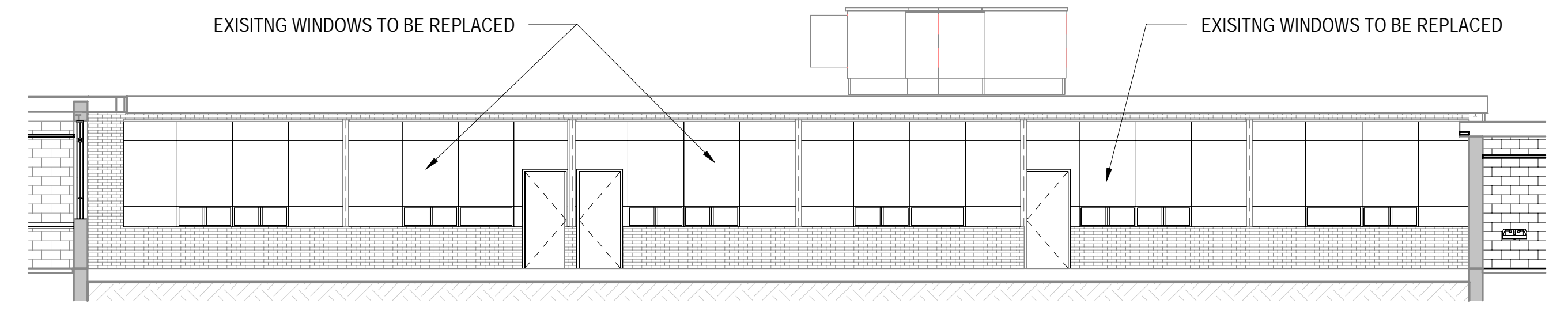
- EXTERIOR ELEVATION GENERAL NOTES:**
1. ALL WALL CAPS, VENTS, LOUVERS, SURFACE MOUNTED PIPES, ETC. ARE TO BE COVERED WITH METAL.
 2. ALL SOFFITS AND FASCIAS TO ALIGN & MATCH.
 3. SLOPE ALL GUTTERS 1/8" PER FOOT (MIN.) TO DOWNSPOUTS.
 4. USE DIVERTERS @ ENDS OF VALLEYS WITH GUTTERS.
 5. EXTERIOR WALL JOINTS ARE TO BE SPACED @ 24" O.C.
 6. INTERIOR & EXTERIOR CONTROL JOINTS ON THE SAME WALL ARE TOO ALIGN.
 7. CONNECT ALL DOWNSPOUTS TO CIVIL DRAIN LEADS. COORDINATE WITH CIVIL.
 8. ALL EXPOSED WOOD BUILDING MATERIALS TO BE COVERED WITH BREAK METAL.



1 EXTERIOR ELEVATION - PLAYGROUND 171 (NORTH)
A-100 1/8" = 1'-0"



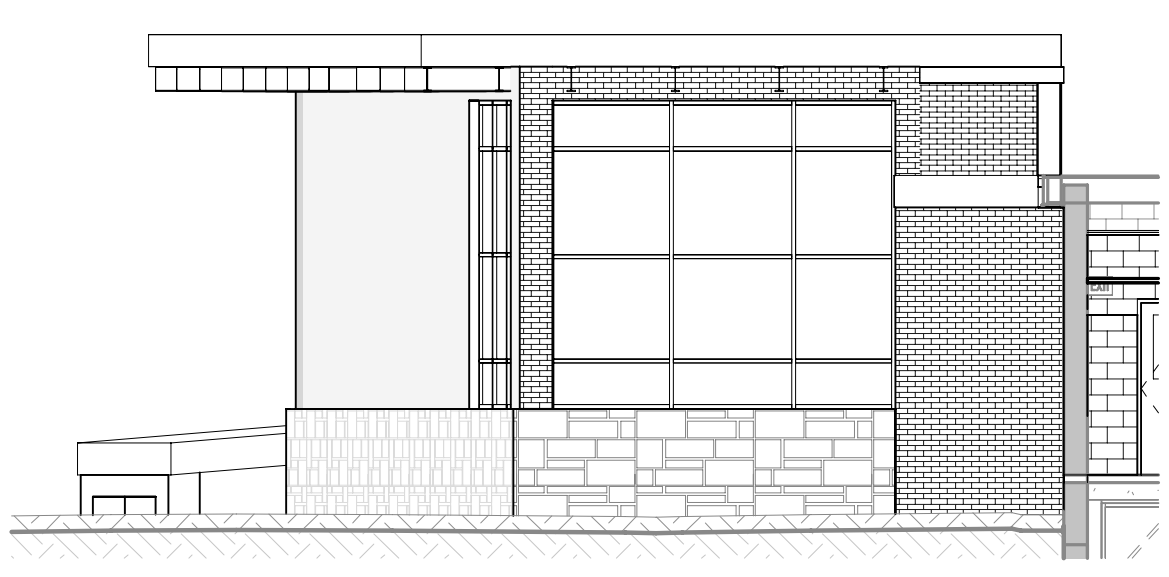
2 EXTERIOR ELEVATION - PLAYGROUND 171 (EAST)
A-100 1/8" = 1'-0"



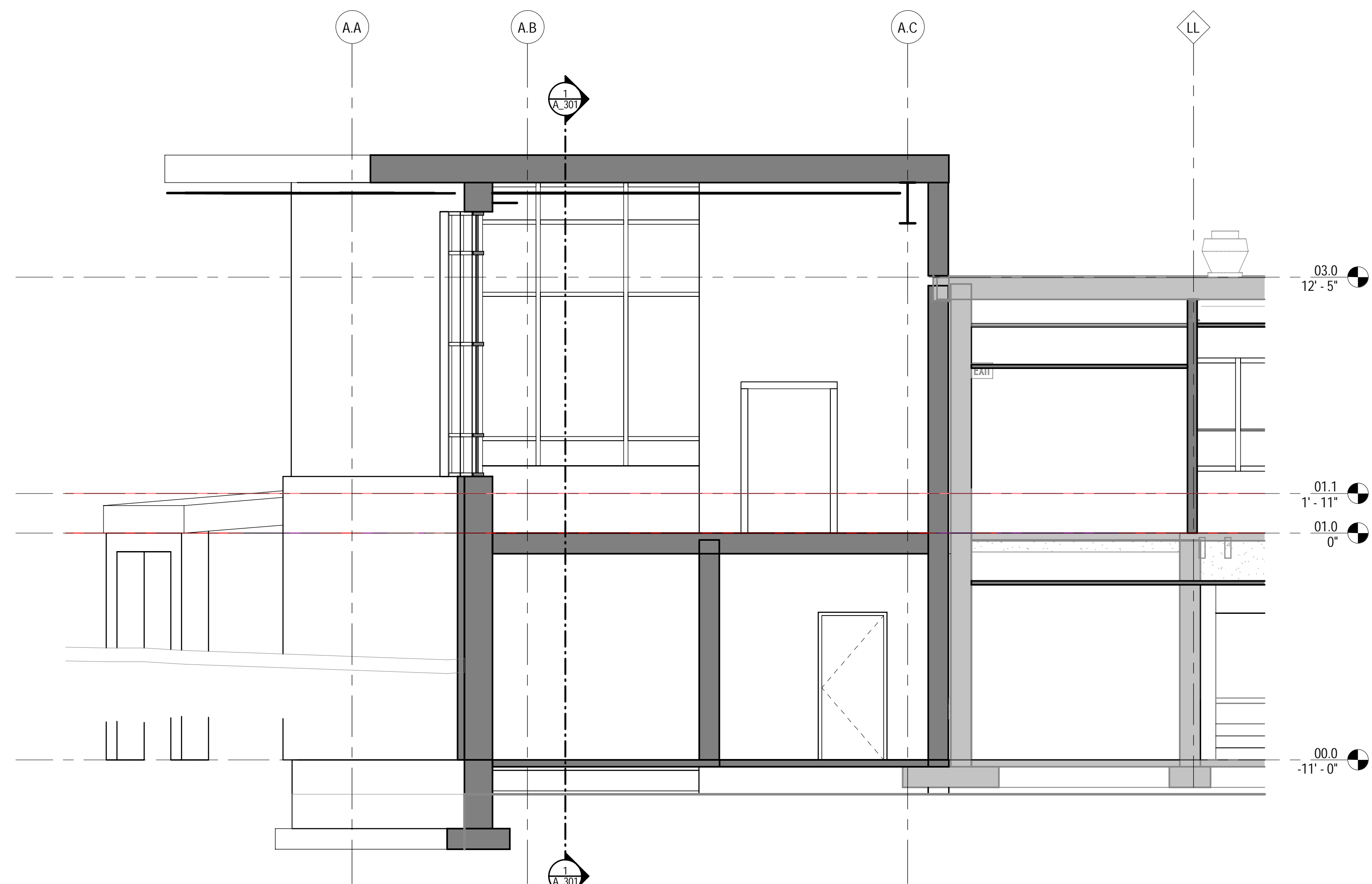
3 EXTERIOR ELEVATION - PLAYGROUND (SOUTH)
A-100 1/8" = 1'-0"



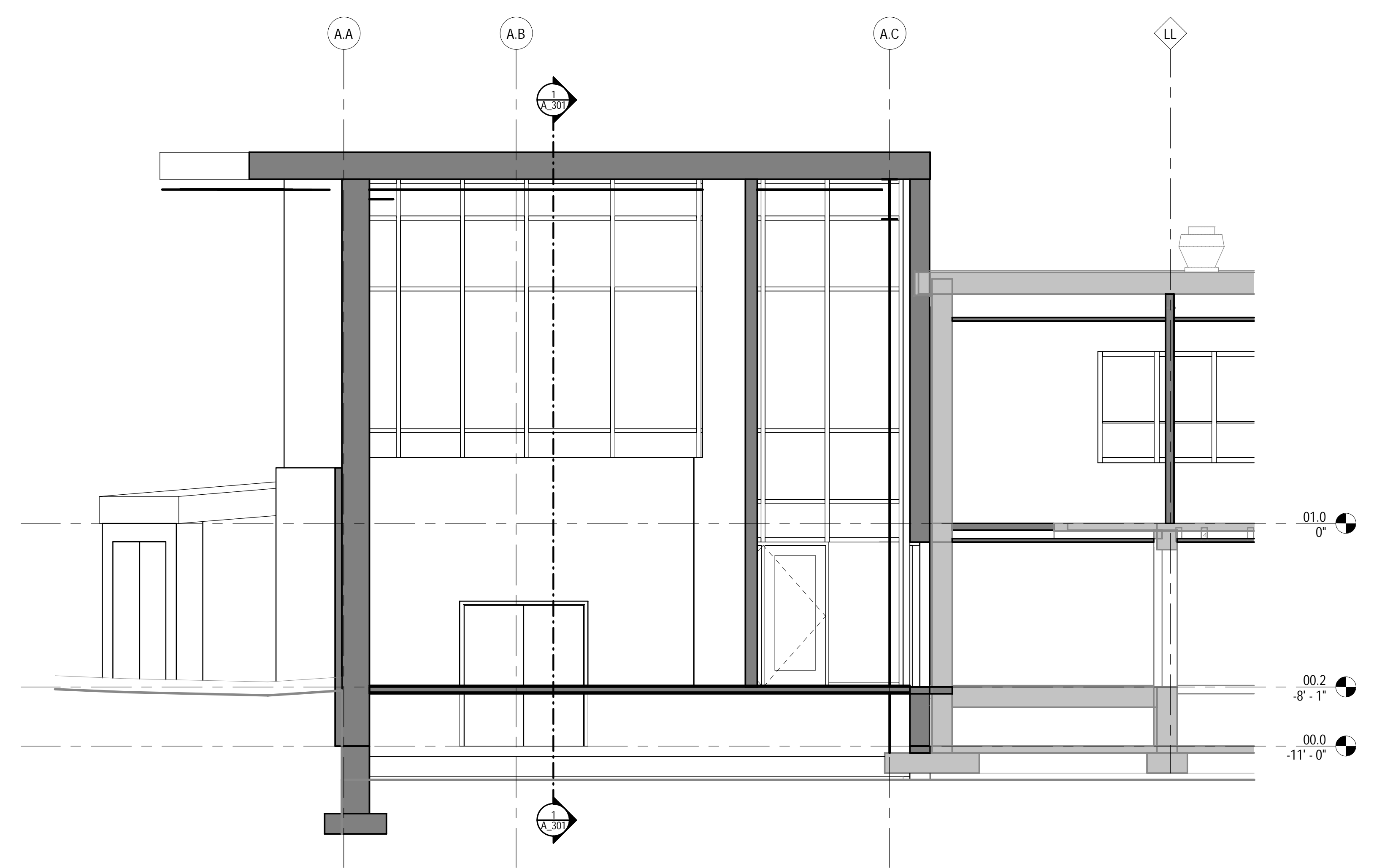
4 EXTERIOR ELEVATION - PLAYGROUND (WEST)
A-100 1/8" = 1'-0"



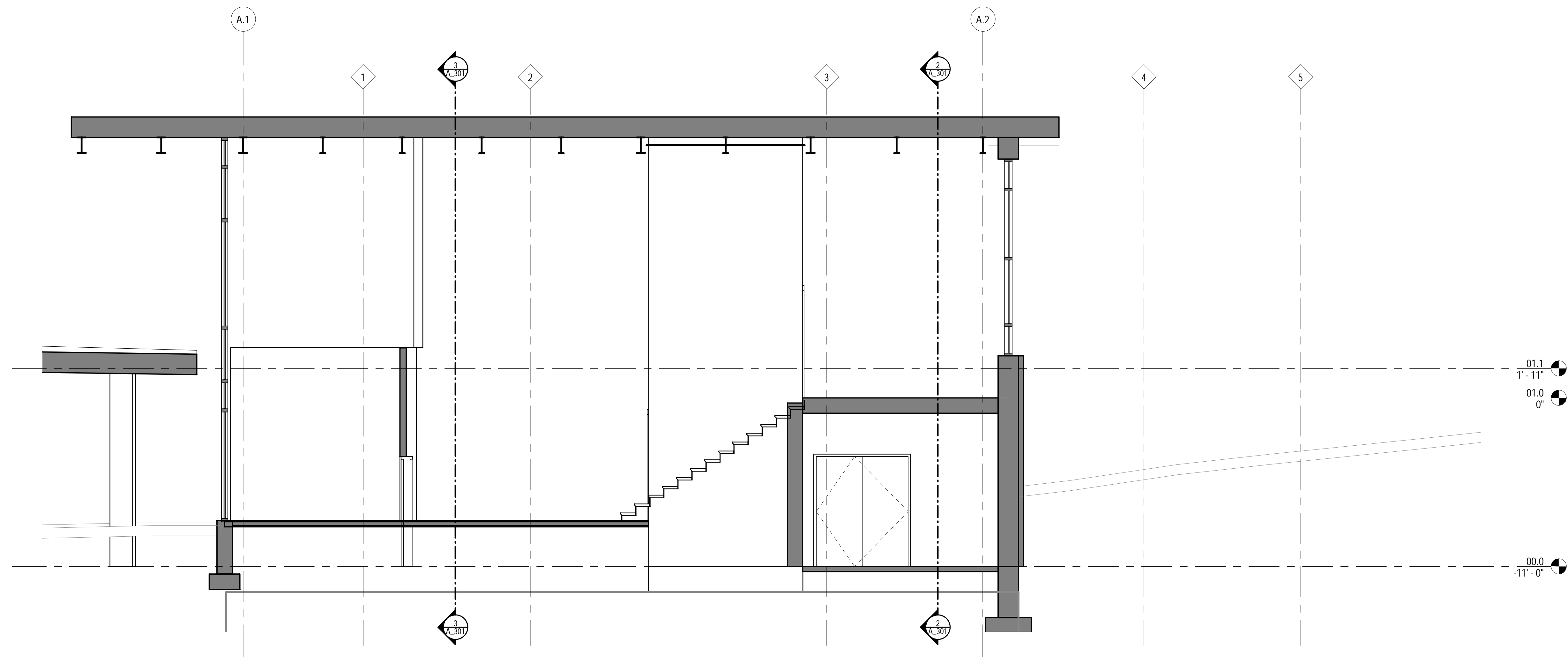
5 EXTERIOR ELEVATION - ADDITION (EAST)
A-100 1/8" = 1'-0"



2 SD - BUILDING SECTION - VESTIBULE ADDITION (N/S)
A-100A 1/4" = 1'-0"



3 SD - BUILDIGN SECTION - VESTIBULE ADDITION (N/S) 2
A-100A 1/4" = 1'-0"



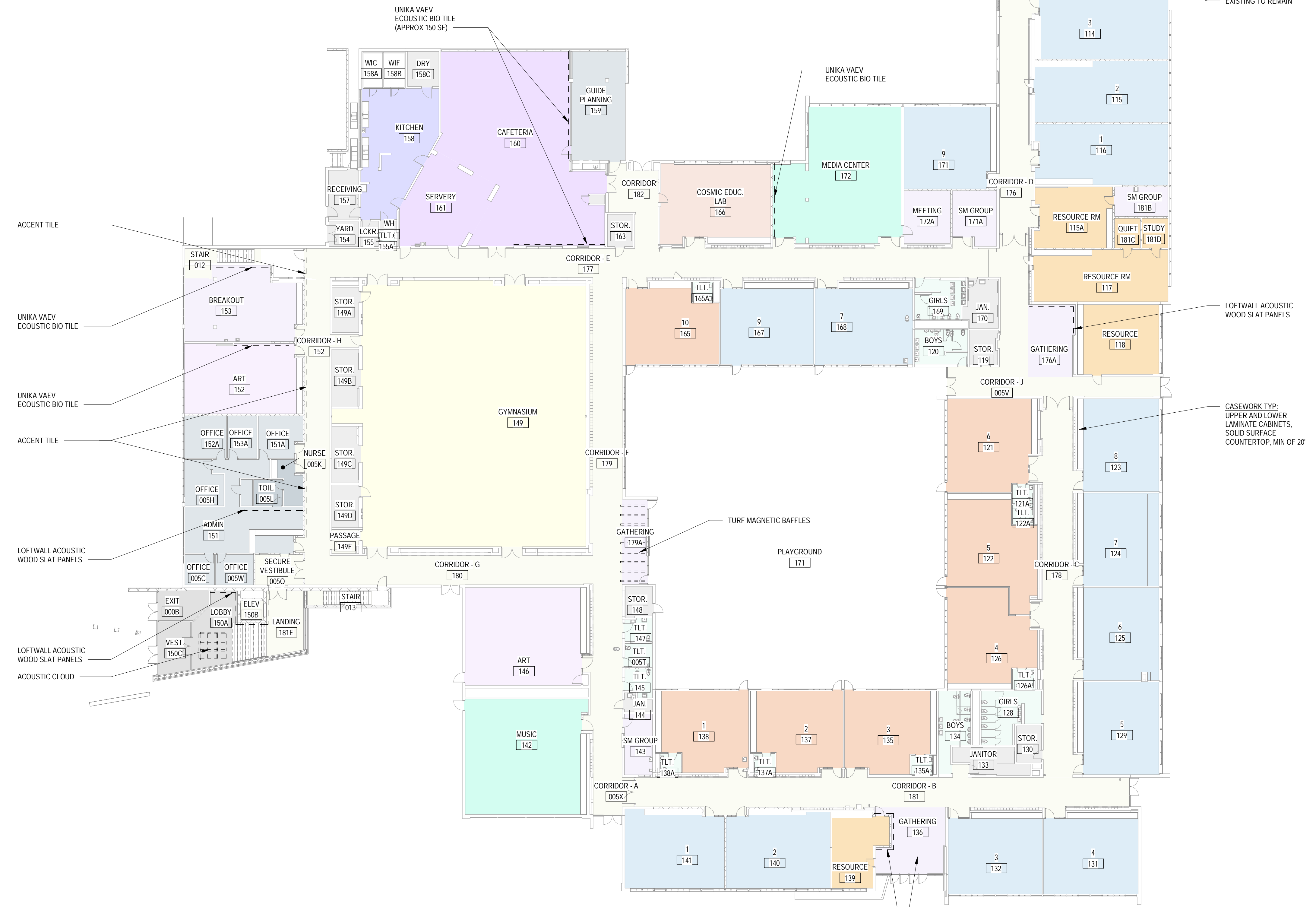
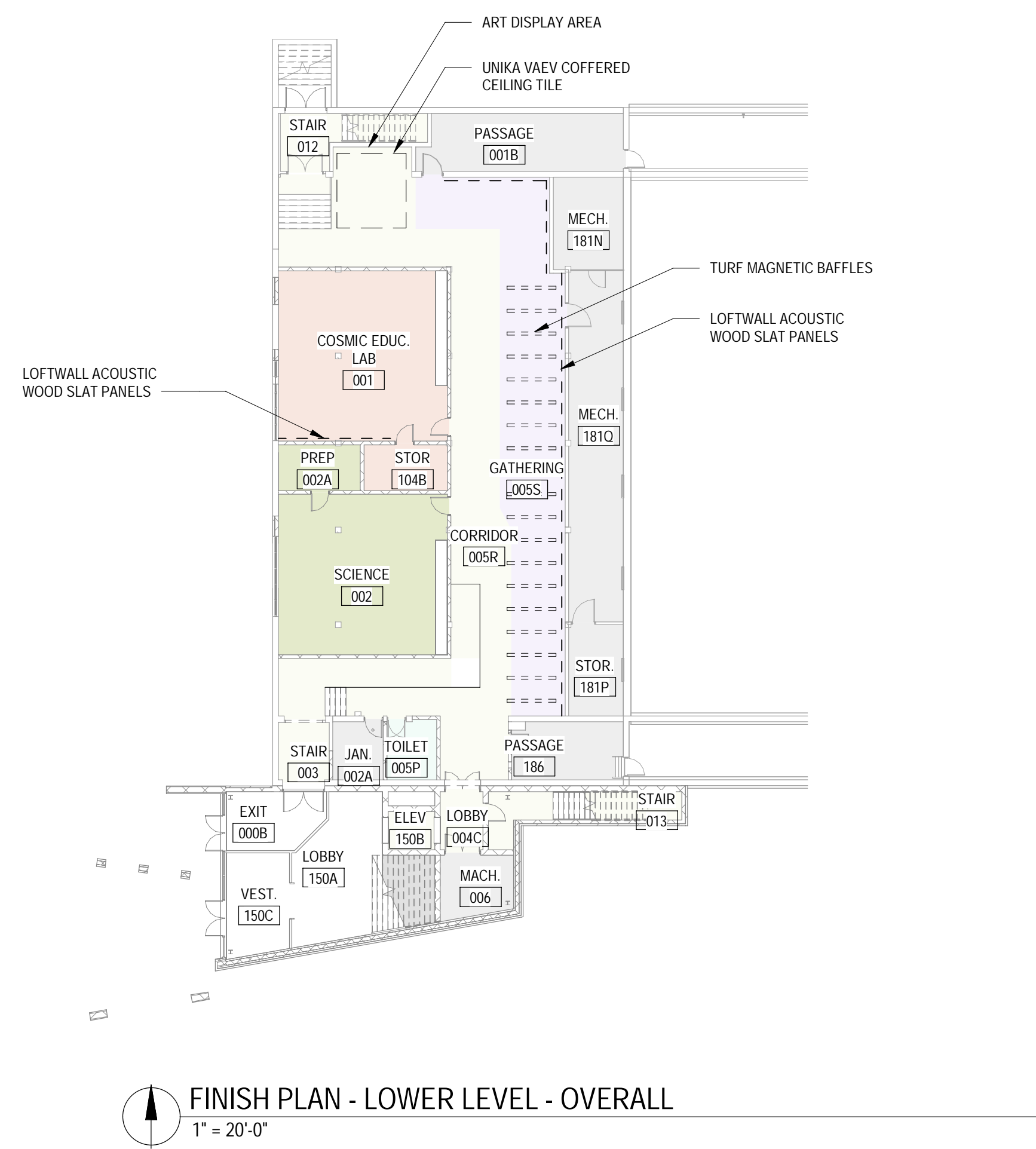
1 SD - BUILDIGN SECTION - VESTIBULE ADDITION (E/W)
A-100A 1/4" = 1'-0"

SD FINISH LEGEND

- ADMIN (CARPET TILE, PAINT)
- ADMIN (RUBBER TILE, PAINT)
- ART (SEALED CONCRETE, PAINT)
- CAFETERIA (RUBBER TILE, WALL TILE)
- CIRCULATION (SEALED CONCRETE, PAINT)
- CLASSROOM - CHILDRENS HOUSE (RUBBER TILE W/ RUG , PAINT)
- CLASSROOM - E1 / E2 / MIDDLE / HIGH (RUBBER TILE, PAINT)
- COSMIC LEARNING (RUBBER TILE, PAINT)
- GATHERING (RUBBER/CONCRETE W/ CARPET TILE RUG, PAINT)
- GYM (EXISTING FLOOR TO REMAIN, PAINT, ACOUSTIC PANELS)
- KITCHEN (EXISTING FLOOR TO REMAIN, PAINT, FRP)
- MUSIC / MEDIA CENTER (CARPET TILE, PAINT, ACOUSTIC PANELS)
- RESTROOM (FLOOR TILE, WALL TILE, SOLID SURFACE COUNTERTOPS)
- SERVICE AREAS (CONCRETE, PAINT)
- SPECIAL EDUCATION (CARPET TILE, PAINT)
- VESTIBULE (WALK OFF CARPET TILE, PAINT)
- SCIENCE (RUBBER TILE / CONCRETE, PAINT)

NOTES:

1. ALL COUNTERTOPS TO BE SOLID SURFACE
2. ALL WINDOW SILLS TO BE SOLID SURFACE
3. ALL CLASSROOMS TO RECEIVE 12' OF MARKERBOARD.
4. RUBBER TILE TO BE NORA BY INTERFACE.
5. CARPET TILE TO BE MILLIKEN.

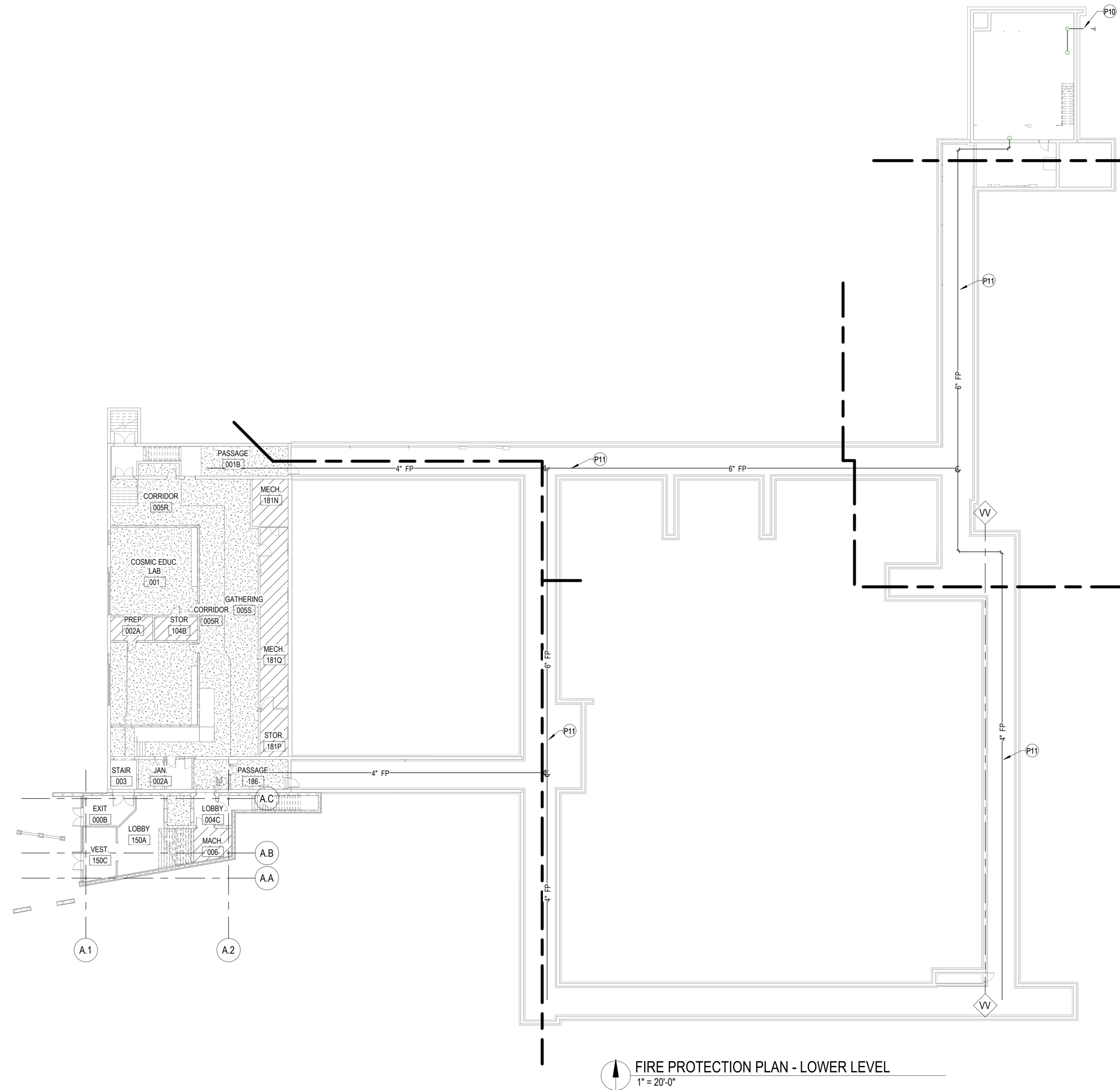


SD - OVERALL FINISH PLANS

GRAND RAPIDS PUBLIC SCHOOLS RIVERSIDE MONTESSORI

27-JAN-2025







FIRE PROTECTION GENERAL NOTES:

1. INSTALLATION OF NEW FIRE SUPPRESSION SYSTEM AND ALTERATIONS TO EXISTING SYSTEM SHALL BE MADE BY A CERTIFIED FIRE SUPPRESSION CONTRACTOR AND SHALL COMPLY WITH NFPA 13 AND ALL FM GLOBAL DATA SHEETS, MOST STRINGENT SHALL GOVERN.
2. COORDINATE WITH ARCHITECTURAL, ELECTRICAL, SHEET METAL, AND ALL OTHER TRADES PRIOR TO ROUGH-IN. ALL CONFLICTS WITH FINISHES, ADJACENT CONSTRUCTION AND CONSTRUCTION DOCUMENTS ARE TO GENERATE AN RFI FROM THE FIRE PROTECTION CONTRACTOR TO THE ARCHITECT/ENGINEER PRIOR TO PROCEEDING WITH WORK.
3. ALL ABOVE CEILING SYSTEMS AND COMPONENTS (INCLUDING BUT NOT LIMITED TO MECHANICAL, ELECTRICAL, PLUMBING, FIRE PROTECTION, ETC.) SHALL BE COORDINATED SUCH THAT THE SYSTEMS ARE PROPERLY INTEGRATED IN THE SPACE PROVIDED ABOVE CEILING AT THE CEILING HEIGHTS NOTED. IT IS THE RESPONSIBILITY OF EACH CONTRACTOR TO COORDINATE PATHWAYS WITHIN THE SPACE PROVIDED. CEILING HEIGHTS WILL NOT BE MODIFIED.
4. PIPING SHOWN INDICATES GENERAL ROUTING FOR SPRINKLER MAINS. COORDINATE WITH ARCHITECTURAL DRAWINGS.
5. ALL FIRE PROTECTION SPRINKLER HEADS IN AREAS WITH FINISHED CEILINGS SHALL BE CONCEALED TYPE.
6. ALL EXTERIOR WALL PENETRATIONS FOR VALVE OPERATORS, DRAINS, TEST PORTS, ETC. SHALL BE SEALED WEATHERTIGHT.
7. REFER TO SPECIFICATION SECTION 211313-WET PIPE SPRINKLER SYSTEMS FOR ADDITIONAL INFORMATION.
8. FIRE PROTECTION LAYOUT SHOWS REQUIRED PROTECTION LEVELS INDICATED BY HATCHED AREA(S) AND SUGGESTED LOCATIONS FOR OTHER REQUIRED SYSTEM COMPONENTS.

FIRE PROTECTION LEGEND

-  LIGHT HAZARD: MINIMUM 0.10 GPM/SQFT OVER THE MOST REMOTE 1500 SQFT.
-  ORDINARY HAZARD, GROUP 1: MINIMUM 0.15 GPM/SQFT OVER THE MOST REMOTE 1500 SQFT.

PLUMBING / FIRE PROTECTION KEYNOTES:

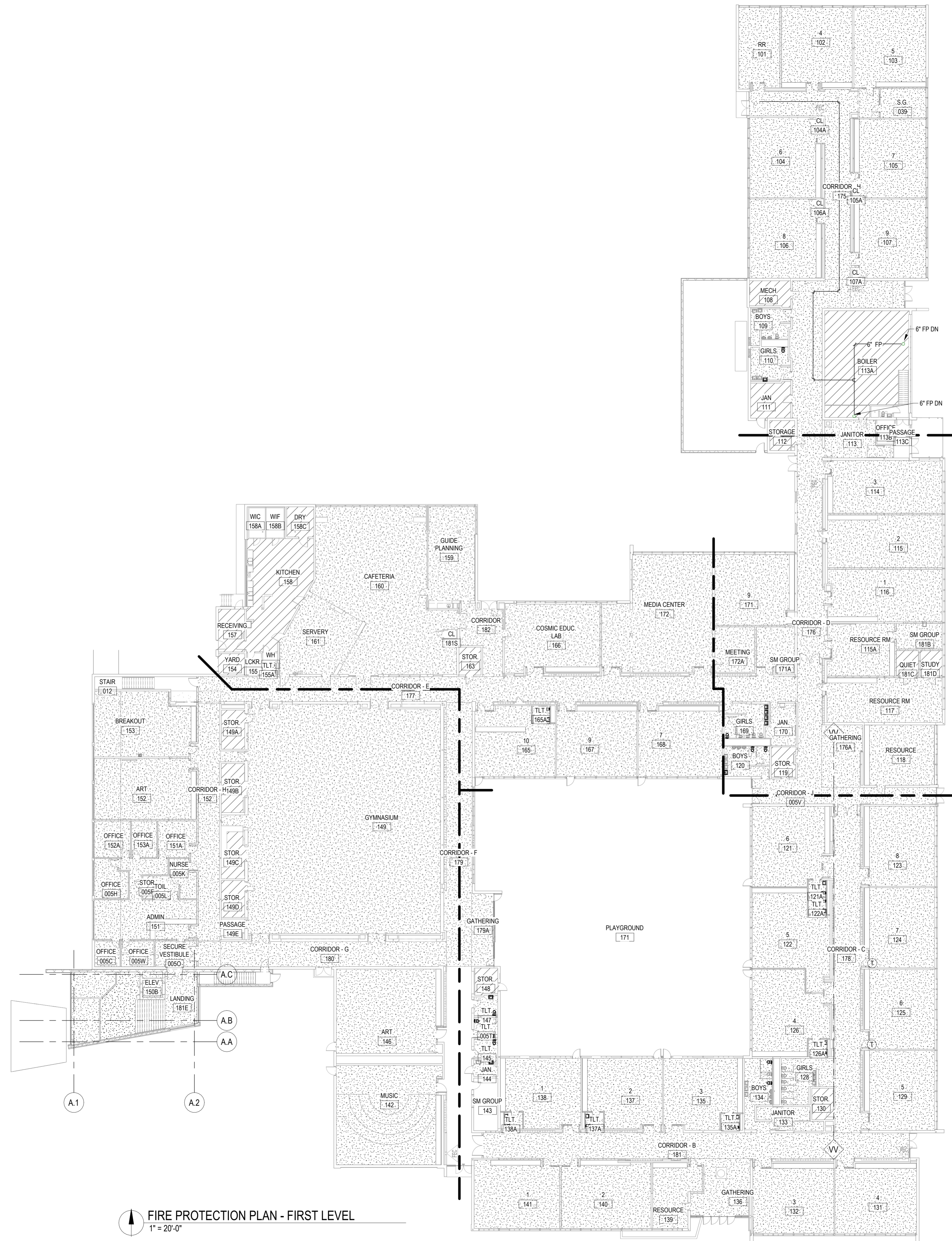
- (P1) ALL NEW 6\"/>

SD - FIRE PROTECTION PLAN - LOWER LEVEL

GPRS RIVERSIDE MONTESSORI

27-JAN-2025







FIRE PROTECTION PLAN - FIRST LEVEL
1" = 20'-0"

FIRE PROTECTION GENERAL NOTES:

1. INSTALLATION OF NEW FIRE SUPPRESSION SYSTEM AND ALTERATIONS TO EXISTING SYSTEM SHALL BE MADE BY A CERTIFIED FIRE SUPPRESSION CONTRACTOR AND SHALL COMPLY WITH NFPA 13 AND ALL FM GLOBAL DATA SHEETS. MOST STRINGENT SHALL GOVERN.
2. COORDINATE WITH ARCHITECTURAL, ELECTRICAL, SHEET METAL, AND ALL OTHER TRADES PRIOR TO ROUGH-IN. ALL CONFLICTS WITH FINISHES, ADJACENT CONSTRUCTION AND CONSTRUCTION DOCUMENTS ARE TO GENERATE AN RFI FROM THE FIRE PROTECTION CONTRACTOR TO THE ARCHITECT/ENGINEER PRIOR TO PROCEEDING WITH WORK.
3. ALL ABOVE CEILING SYSTEMS AND COMPONENTS INCLUDING BUT NOT LIMITED TO MECHANICAL, ELECTRICAL, PLUMBING, FIRE PROTECTION, ETC.) SHALL BE COORDINATED SUCH THAT THE SYSTEMS ARE PROPERLY INTEGRATED IN THE SPACE PROVIDED ABOVE CEILING AT THE CEILING HEIGHTS NOTED. IT IS THE RESPONSIBILITY OF EACH CONTRACTOR TO COORDINATE PATHWAYS WITHIN THE SPACE PROVIDED. CEILING HEIGHTS WILL NOT BE MODIFIED.
4. PIPING SHOWN INDICATES GENERAL ROUTING FOR SPRINKLER MAINS. COORDINATE WITH ARCHITECTURAL DRAWINGS.
5. ALL FIRE PROTECTION SPRINKLER HEADS IN AREAS WITH FINISHED CEILINGS SHALL BE CONCEALED TYPE.
6. ALL EXTERIOR WALL PENETRATIONS FOR VALVE OPERATORS, DRAINS, TEST PORTS, ETC. SHALL BE SEALED WEATHERTIGHT.
7. REFER TO SPECIFICATION SECTION 211313-WET PIPE SPRINKLER SYSTEMS FOR ADDITIONAL INFORMATION.
8. FIRE PROTECTION LAYOUT SHOWS REQUIRED PROTECTION LEVELS INDICATED BY HATCHED AREA(S) AND SUGGESTED LOCATIONS FOR OTHER REQUIRED SYSTEM COMPONENTS.

FIRE PROTECTION LEGEND

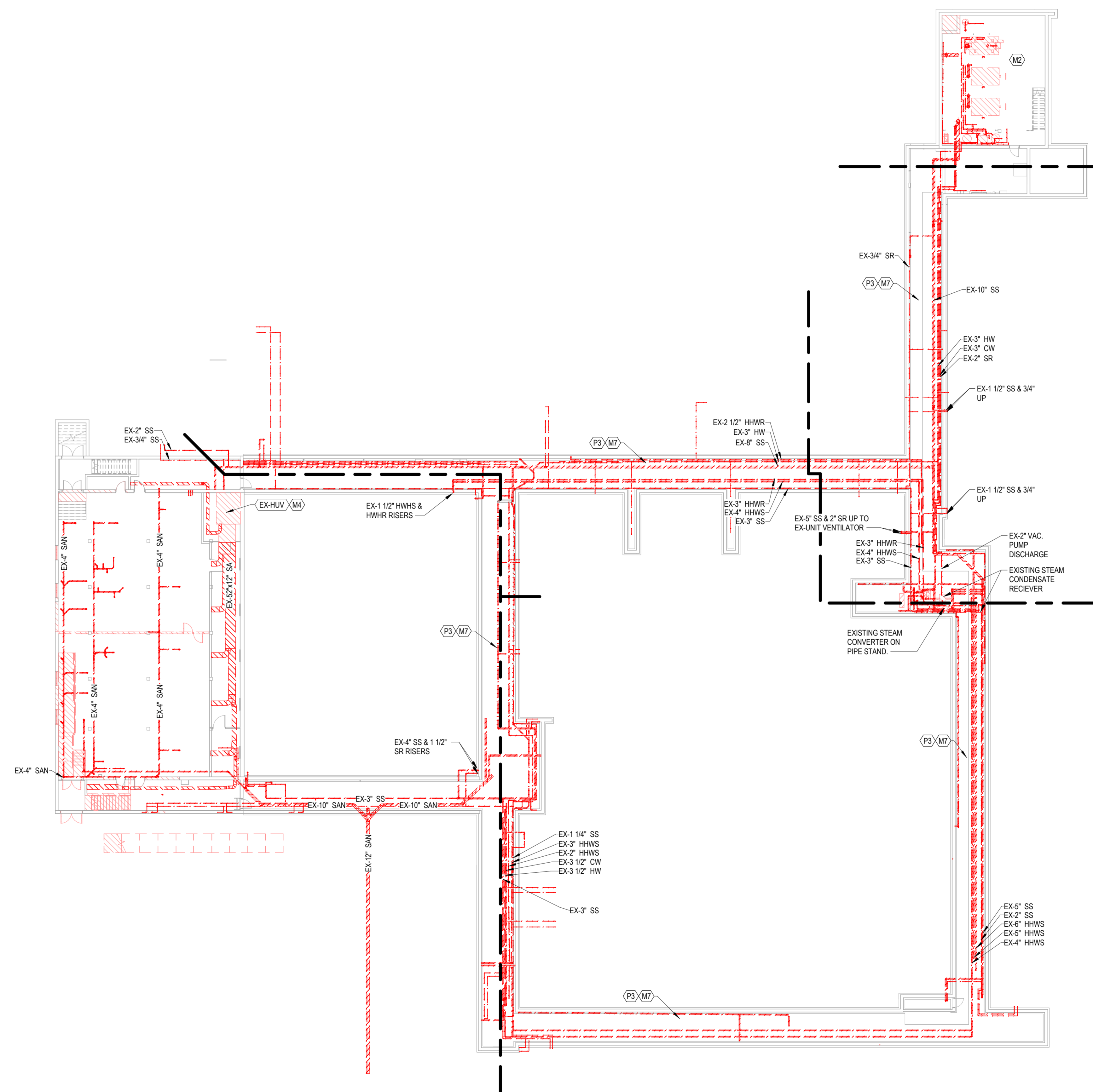
-  LIGHT HAZARD: MINIMUM 0.10 GPM/SQFT OVER THE MOST REMOTE 1500 SQFT.
-  ORDINARY HAZARD, GROUP 1: MINIMUM 0.15 GPM/SQFT OVER THE MOST REMOTE 1500 SQFT

SD - FIRE PROTECTION PLAN - FIRST LEVEL

GPRS RIVERSIDE MONTESSORI

27-JAN-2025





MECHANICAL / PLUMBING DEMOLITION PLAN - LOWER LEVEL
1" = 20'-0"

MECHANICAL DEMOLITION KEYNOTES:

- (M1) CLASSROOM RENOVATION: DEMOLISH ALL EXISTING ABOVE-CEILING RADIANT HEATING PIPING, VALVES, THERMOSTATS, AND ALL ANGLARIES. DEMOLISH EXISTING SUPPLY AIR DUCTWORK, RETURN AIR DUCTWORK TRANSFERRING INTO THE CORRIDORS, AND ANY RELIEF AIR DUCTWORK LEADING TO RELIEF VENTILATORS ON THE ROOF.
- (M2) BOILER ROOM RENOVATION: DEMOLISH ALL EXISTING BOILERS, BOILER FEED PUMPS, HW STORAGE TANK, BOILER FEED TANK, AIR COMPRESSOR, BLOWOFF TANK, PIPING, VALVES, AND ALL ANGLARIES. REMOVE ANY EQUIPMENT OR PIPING ASSOCIATED WITH THE EXISTING HEATING SYSTEM.
- (M3) GYMNASIUM RENOVATION: DEMOLISH EXISTING SUSPENDED AIR HANDLING UNITS, ASSOCIATED DUCTWORK, DIFFUSERS, STEAM SUPPLY/RETURN PIPING, WALL MOUNTED RETURN GRILLES, OUTSIDE AIR LOUVERS, THERMOSTATS, AND ALL ANGLARIES.
- (M4) MECHANICAL ROOM RENOVATION: DEMOLISH ALL EXISTING SUSPENDED UNIT VENTILATORS SERVING OTHER AREAS, AND ASSOCIATED DUCTWORK, BOOSTER COILS, STEAM SUPPLY/RETURN PIPING, OUTSIDE AIR DUCTWORK, THERMOSTATS, AND ALL ANGLARIES.
- (M5) SHOP & GRAPHIC ARTS RENOVATION: DEMOLISH ALL EXISTING UNIT HEATERS, ASSOCIATED DUCTWORK, STEAM SUPPLY/RETURN PIPING, THERMOSTATS, AND ALL ANGLARIES. DEMOLISH DUST COLLECTOR SYSTEM IN ITS ENTIRETY.
- (M6) RESTROOM / TOILET ROOM RENOVATION: DEMOLISH ALL EXISTING EXHAUST FANS, ASSOCIATED EXHAUST AIR DUCTWORK, DIFFUSERS, AND GRILLES. DEMOLISH ANY WALL-MOUNTED ELECTRIC CONVECTORS, PATCH AND REPAIR ADJACENT SURFACES AT AREAS OF REMOVAL TO MATCH EXISTING AND/OR AS REQUIRED FOR PROPER INSTALLATION OF NEW FINISHES.
- (M7) TUNNEL RENOVATION: DEMOLISH ALL EXISTING NATURAL GAS, STEAM AND HEATING HOT WATER SUPPLY AND RETURN PIPING IN TUNNEL AND ALL LOWER LEVEL AREAS. DEMOLISH EXISTING CONDENSATE RECEIVERS, COMPRESSOR TANKS, BOOSTER PUMPS, HEAT EXCHANGERS, VALVES, AND ALL ANGLARIES.

PLUMBING DEMOLITION KEYNOTES:

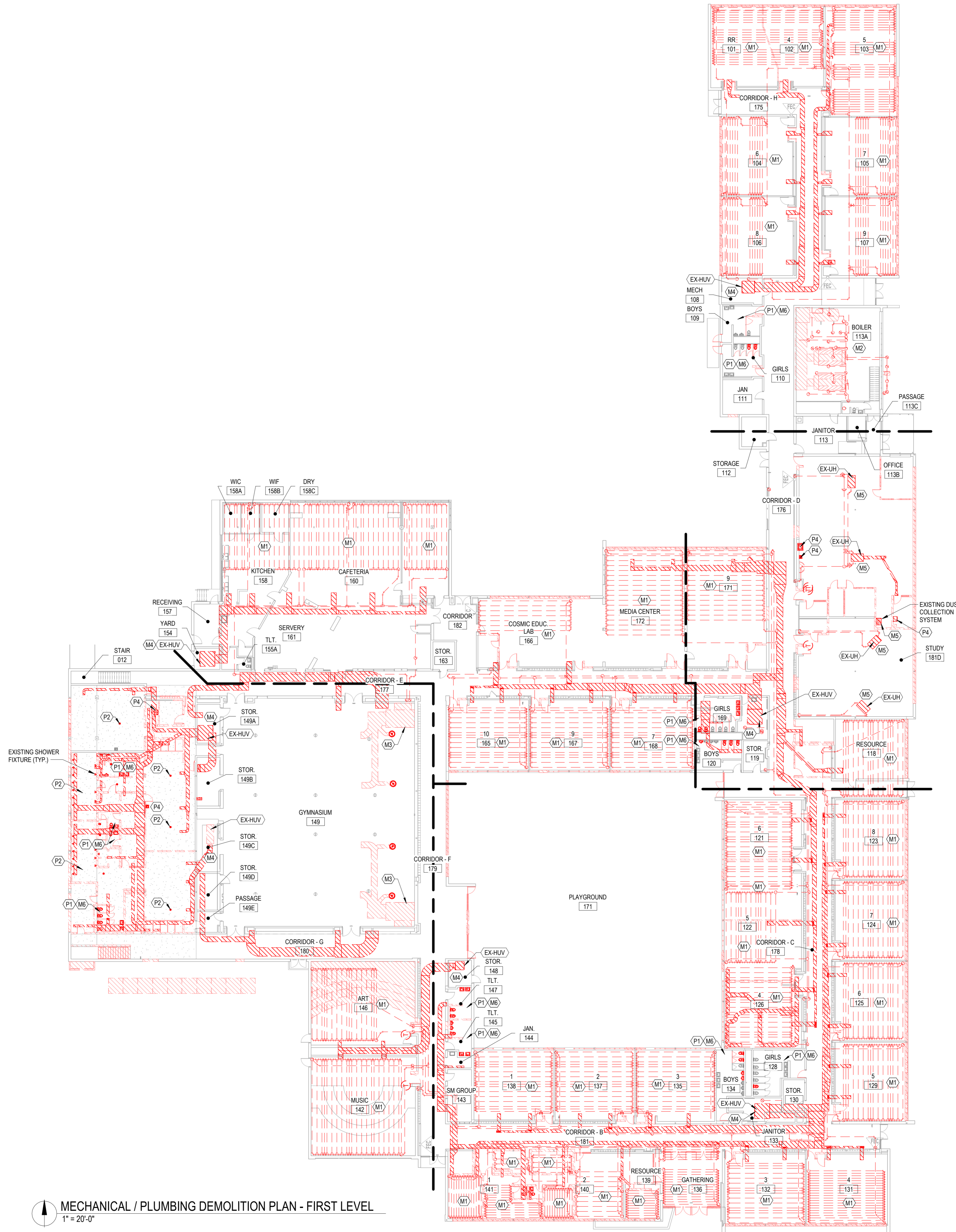
- (P1) RESTROOM RENOVATION: DEMOLISH LAVATORIES AND WATER CLOSETS AS SHOWN. DEMOLISH HW, CW, SANITARY WASTE AND VENT PIPING IN THEIR ENTIRETY.
- (P2) EXISTING LOCKER ROOM RENOVATION: DEMOLISH ALL SHOWER FIXTURES, INCLUDING FLOOR DRAINS, HW PIPING, CW PIPING, SANITARY WASTE PIPING, AND VENT PIPING IN THEIR ENTIRETY.
- (P3) TUNNEL RENOVATION: DEMOLISH ALL EXISTING DOMESTIC CW, HW, AND HWR PIPING IN TUNNEL INCLUDING VALVES, AND ALL ANGLARIES.
- (P4) DEMOLISH EXISTING HAND SINK, CW & HW PIPING, SANITARY WASTE AND VENT PIPING IN THEIR ENTIRETY.

SD - MECHANICAL / PLUMBING DEMOLITION PLAN - LOWER LEVEL

GPRS RIVERSIDE MONTESSORI

27-JAN-2025





MECHANICAL / PLUMBING DEMOLITION PLAN - FIRST LEVEL
1" = 20'-0"

MECHANICAL DEMOLITION KEYNOTES:

- (M1) CLASSROOM RENOVATION: DEMOLISH ALL EXISTING ABOVE-CEILING RADIANT HEATING PIPING, VALVES, THERMOSTATS, AND ALL ANCILLARIES. DEMOLISH EXISTING SUPPLY AIR DUCTWORK, RETURN AIR DUCTWORK, TRANSFERRING INTO THE CORRIDORS, AND ANY RELIEF AIR DUCTWORK LEADING TO RELIEF VENTILATORS ON THE ROOF.
- (M2) BOILER ROOM RENOVATION: DEMOLISH ALL EXISTING BOILERS, BOILER FEED PUMPS, HW STORAGE TANK, BOILER FEED TANK, AIR COMPRESSOR, BLOWOFF TANK, PIPING, VALVES, AND ALL ANCILLARIES. REMOVE ANY EQUIPMENT OR PIPING ASSOCIATED WITH THE EXISTING HEATING SYSTEM.
- (M3) GYMNASIUM RENOVATION: DEMOLISH EXISTING SUSPENDED AIR HANDLING UNITS, ASSOCIATED DUCTWORK, DIFFUSERS, STEAM SUPPLY/RETURN PIPING, WALL MOUNTED RETURN GRILLES, OUTSIDE AIR LOUVERS, THERMOSTATS, AND ALL ANCILLARIES.
- (M4) MECHANICAL ROOM RENOVATION: DEMOLISH ALL EXISTING SUSPENDED UNIT VENTILATORS SERVING OTHER AREAS, AND ASSOCIATED DUCTWORK, BOOSTER COILS, STEAM SUPPLY/RETURN PIPING, OUTSIDE AIR DUCTWORK, THERMOSTATS, AND ALL ANCILLARIES.
- (M5) SHOP & GRAPHIC ARTS RENOVATION: DEMOLISH ALL EXISTING UNIT HEATERS, ASSOCIATED DUCTWORK, STEAM SUPPLY/RETURN PIPING, THERMOSTATS, AND ALL ANCILLARIES. DEMOLISH DUST COLLECTOR SYSTEM IN ITS ENTIRETY.
- (M6) RESTROOM / TOILET ROOM RENOVATION: DEMOLISH ALL EXISTING EXHAUST FANS, ASSOCIATED EXHAUST AIR DUCTWORK, DIFFUSER, AND GRILLES. DEMOLISH ANY WALL-MOUNTED ELECTRIC CONNECTORS, PATCH AND REPAIR ADJACENT SURFACES AT AREAS OF REMOVAL TO MATCH EXISTING AND/OR AS REQUIRED FOR PROPER INSTALLATION OF NEW FINISHES.
- (M7) TUNNEL RENOVATION: DEMOLISH ALL EXISTING NATURAL GAS, STEAM AND HEATING HOT WATER SUPPLY AND RETURN PIPING IN TUNNEL AND ALL LOWER LEVEL AREAS. DEMOLISH EXISTING CONDENSATE RECEIVERS, COMPRESSOR TANKS, BOOSTER PUMPS, HEAT EXCHANGERS, VALVES, AND ALL ANCILLARIES.

PLUMBING DEMOLITION KEYNOTES:

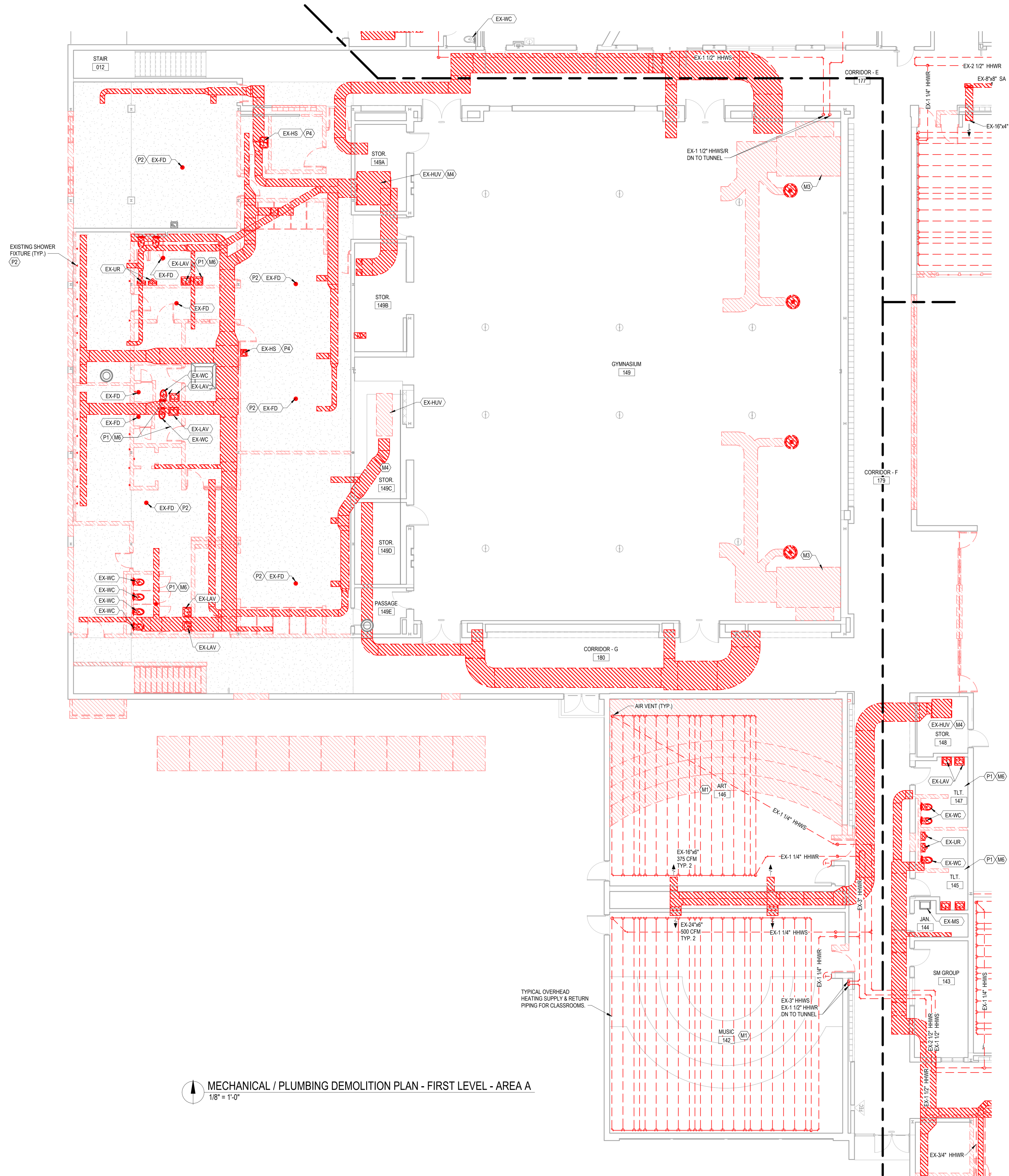
- (P1) RESTROOM RENOVATION: DEMOLISH LAVATORIES AND WATER CLOSETS AS SHOWN. DEMOLISH HW, CW, SANITARY WASTE AND VENT PIPING IN THEIR ENTIRETY.
- (P2) EXISTING LOCKER ROOM RENOVATION: DEMOLISH ALL SHOWER FIXTURES, INCLUDING FLOOR DRAINS, HW PIPING, CW PIPING, SANITARY WASTE PIPING, AND VENT PIPING IN THEIR ENTIRETY.
- (P3) TUNNEL RENOVATION: DEMOLISH ALL EXISTING DOMESTIC CW, HW, AND HWV PIPING IN TUNNEL INCLUDING VALVES, AND ALL ANCILLARIES.
- (P4) DEMOLISH EXISTING HAND SINK, CW & HW PIPING, SANITARY WASTE AND VENT PIPING IN THEIR ENTIRETY.

SD - MECHANICAL / PLUMBING DEMOLITION PLAN - FIRST LEVEL

GPRS RIVERSIDE MONTESSORI

27-JAN-2025

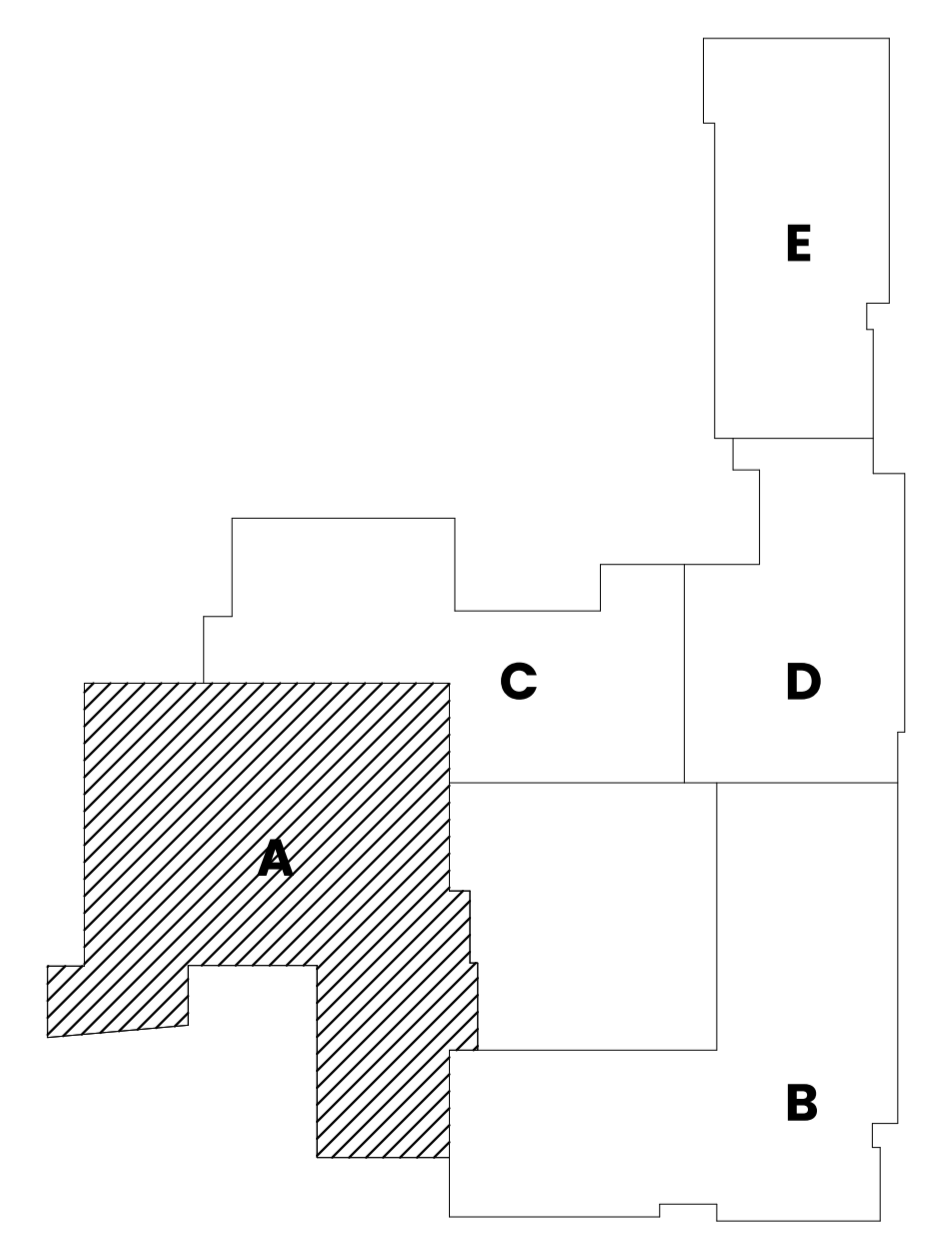




- MECHANICAL DEMOLITION KEYNOTES:**
- (M1) CLASSROOM RENOVATION: DEMOLISH ALL EXISTING ABOVE-CEILING RADIANT HEATING PIPING, VALVES, THERMOSTATS, AND ALL ANCILLARIES. DEMOLISH EXISTING SUPPLY AIR DUCTWORK, RETURN AIR DUCTWORK TRANSFERRING INTO THE CORRIDORS, AND ANY RELIEF AIR DUCTWORK LEADING TO RELIEF VENTILATORS ON THE ROOF.
 - (M2) BOILER ROOM RENOVATION: DEMOLISH ALL EXISTING BOILERS, BOILER FEED PUMPS, HW STORAGE TANK, BOILER FEED TANK, AIR COMPRESSOR, BLOWOFF TANK, PIPING, VALVES, AND ALL ANCILLARIES. REMOVE ANY EQUIPMENT OR PIPING ASSOCIATED WITH THE EXISTING HEATING SYSTEM.
 - (M3) GYMNASIUM RENOVATION: DEMOLISH EXISTING SUSPENDED AIR HANDLING UNITS, ASSOCIATED DUCTWORK, DIFFUSERS, STEAM SUPPLY/RETURN PIPING, WALL MOUNTED RETURN GRILLES, OUTSIDE AIR LOUVERS, THERMOSTATS, AND ALL ANCILLARIES.
 - (M4) MECHANICAL ROOM RENOVATION: DEMOLISH ALL EXISTING SUSPENDED UNIT VENTILATORS SERVING OTHER AREAS, AND ASSOCIATED DUCTWORK, BOOSTER COILS, STEAM SUPPLY/RETURN PIPING, OUTSIDE AIR DUCTWORK, THERMOSTATS, AND ALL ANCILLARIES.
 - (M5) SHOP & GRAPHIC ARTS RENOVATION: DEMOLISH ALL EXISTING UNIT HEATERS, ASSOCIATED DUCTWORK, STEAM SUPPLY/RETURN PIPING, THERMOSTATS, AND ALL ANCILLARIES. DEMOLISH DUST COLLECTOR SYSTEM IN ITS ENTIRETY.
 - (M6) RESTROOM / TOILET ROOM RENOVATION: DEMOLISH ALL EXISTING EXHAUST FANS, ASSOCIATED EXHAUST AIR DUCTWORK, DIFFUSER, AND GRILLES. DEMOLISH ANY WALL-MOUNTED ELECTRIC CONNECTORS, PATCH AND REPAIR ADJACENT SURFACES AT AREAS OF REMOVAL TO MATCH EXISTING AND/OR AS REQUIRED FOR PROPER INSTALLATION OF NEW FINISHES.
 - (M7) TUNNEL RENOVATION: DEMOLISH ALL EXISTING NATURAL GAS, STEAM AND HEATING HOT WATER SUPPLY AND RETURN PIPING IN TUNNEL AND ALL LOWER LEVEL AREAS. DEMOLISH EXISTING CONDENSATE RECEIVERS, COMPRESSOR TANKS, BOOSTER PUMPS, HEAT EXCHANGERS, VALVES, AND ALL ANCILLARIES.

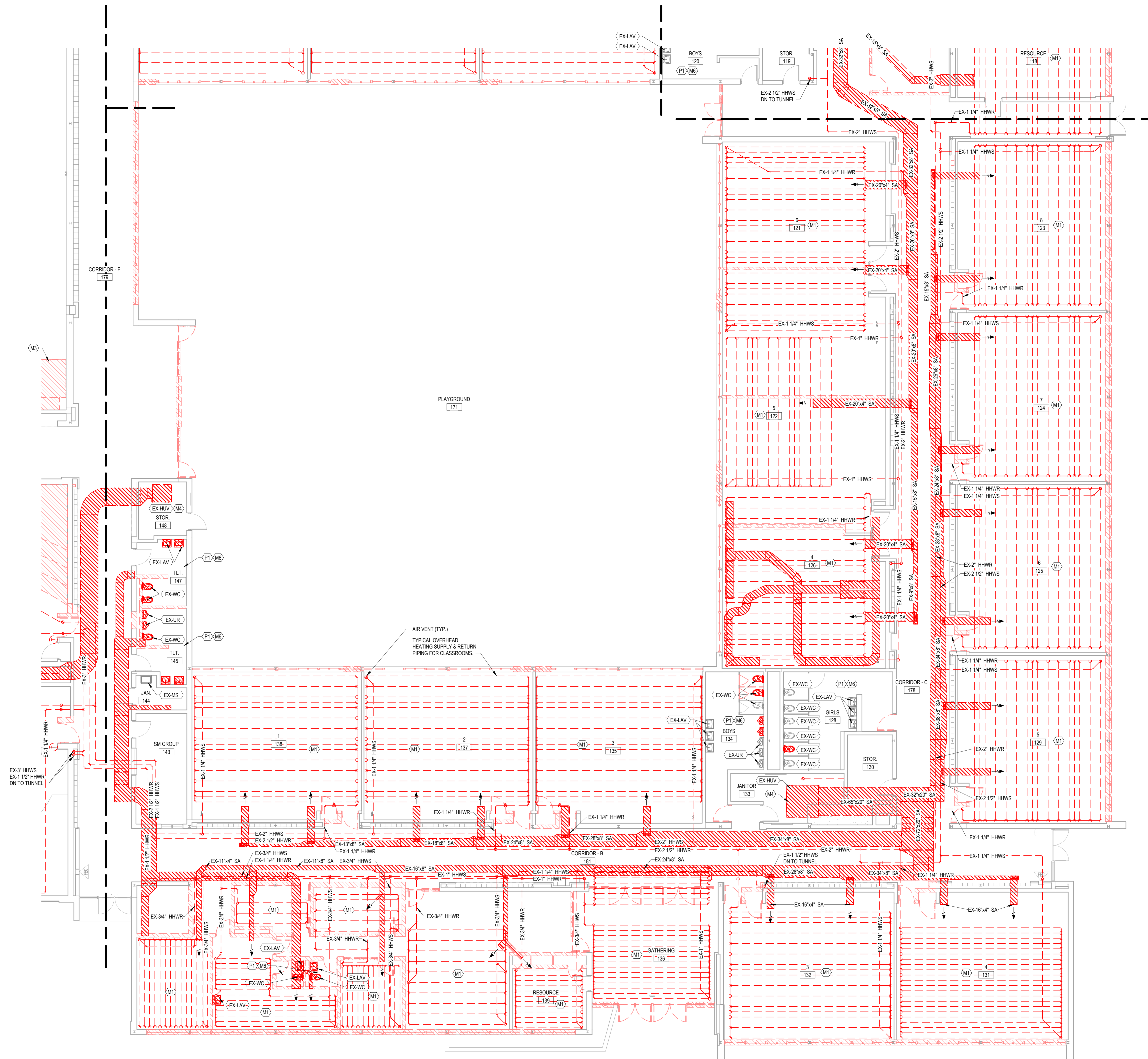
- PLUMBING DEMOLITION KEYNOTES:**
- (P1) RESTROOM RENOVATION: DEMOLISH LAVATORIES AND WATER CLOSETS AS SHOWN. DEMOLISH HW, CW, SANITARY WASTE AND VENT PIPING IN THEIR ENTIRETY.
 - (P2) EXISTING LOCKER ROOM RENOVATION: DEMOLISH ALL SHOWER FIXTURES, INCLUDING FLOOR DRAINS, HW PIPING, CW PIPING, SANITARY WASTE PIPING, AND VENT PIPING IN THEIR ENTIRETY.
 - (P3) TUNNEL RENOVATION: DEMOLISH ALL EXISTING DOMESTIC CW, HW, AND HWV PIPING IN TUNNEL INCLUDING VALVES, AND ALL ANCILLARIES.
 - (P4) DEMOLISH EXISTING HAND SINK, CW & HW PIPING, SANITARY WASTE AND VENT PIPING IN THEIR ENTIRETY.

MECHANICAL / PLUMBING DEMOLITION PLAN - FIRST LEVEL - AREA A
1/8" = 1'-0"



SD - MECHANICAL / PLUMBING DEMOLITION PLAN - FIRST LEVEL - AREA A

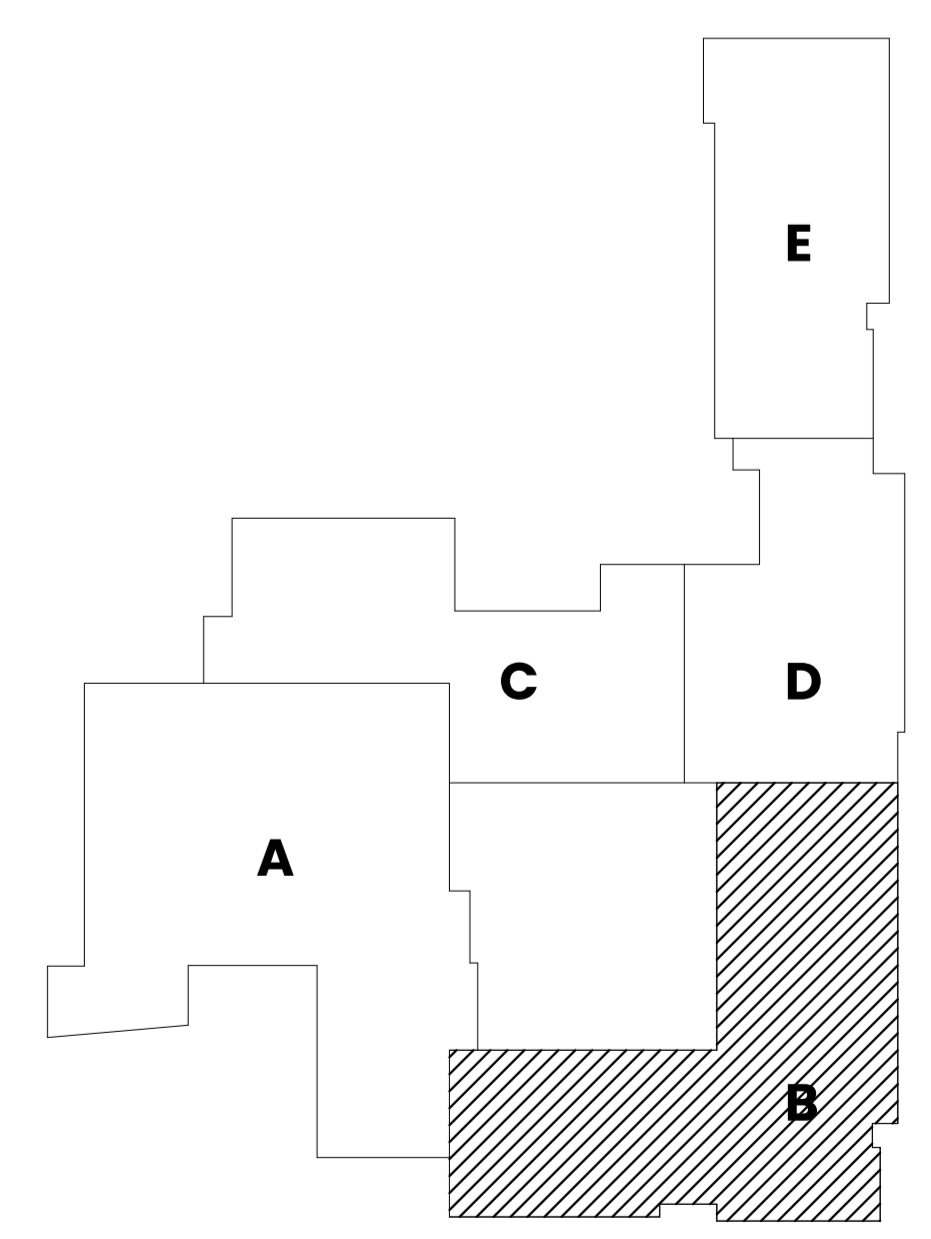




- MECHANICAL DEMOLITION KEYNOTES:**
- (M1) CLASSROOM RENOVATION: DEMOLISH ALL EXISTING ABOVE-CEILING RADIANT HEATING PIPING, VALVES, THERMOSTATS, AND ALL ANCILLARIES. DEMOLISH EXISTING SUPPLY AIR DUCTWORK, RETURN AIR DUCTWORK TRANSFERRING INTO THE CORRIDORS, AND ANY RELIEF AIR DUCTWORK LEADING TO RELIEF VENTILATORS ON THE ROOF.
 - (M2) BOILER ROOM RENOVATION: DEMOLISH ALL EXISTING BOILERS, BOILER FEED PUMPS, HW STORAGE TANK, BOILER FEED TANK, AIR COMPRESSOR, BLOWOFF TANK, PIPING, VALVES, AND ALL ANCILLARIES. REMOVE ANY EQUIPMENT OR PIPING ASSOCIATED WITH THE EXISTING HEATING SYSTEM.
 - (M3) GYMNASIUM RENOVATION: DEMOLISH EXISTING SUSPENDED AIR HANDLING UNITS, ASSOCIATED DUCTWORK, DIFFUSERS, STEAM SUPPLY/RETURN PIPING, WALL MOUNTED RETURN GRILLES, OUTSIDE AIR LOUVERS, THERMOSTATS, AND ALL ANCILLARIES.
 - (M4) MECHANICAL ROOM RENOVATION: DEMOLISH ALL EXISTING SUSPENDED UNIT VENTILATORS SERVING OTHER AREAS, AND ASSOCIATED DUCTWORK, BOOSTER COILS, STEAM SUPPLY/RETURN PIPING, OUTSIDE AIR DUCTWORK, THERMOSTATS, AND ALL ANCILLARIES.
 - (M5) SHOP & GRAPHIC ARTS RENOVATION: DEMOLISH ALL EXISTING UNIT HEATERS, ASSOCIATED DUCTWORK, STEAM SUPPLY/RETURN PIPING, THERMOSTATS, AND ALL ANCILLARIES. DEMOLISH DUST COLLECTOR SYSTEM IN ITS ENTIRETY.
 - (M6) RESTROOM / TOILET ROOM RENOVATION: DEMOLISH ALL EXISTING EXHAUST FANS, ASSOCIATED EXHAUST AIR DUCTWORK, DIFFUSER, AND GRILLES. DEMOLISH ANY WALL MOUNTED ELECTRIC CONNECTORS. PATCH AND REPAIR ADJACENT SURFACES AT AREAS OF REMOVAL TO MATCH EXISTING AND/OR AS REQUIRED FOR PROPER INSTALLATION OF NEW FINISHES.
 - (M7) TUNNEL RENOVATION: DEMOLISH ALL EXISTING NATURAL GAS, STEAM AND HEATING HOT WATER SUPPLY AND RETURN PIPING IN TUNNEL AND ALL LOWER LEVEL AREAS. DEMOLISH EXISTING CONDENSATE RECEIVERS, COMPRESSOR TANKS, BOOSTER PUMPS, HEAT EXCHANGERS, VALVES, AND ALL ANCILLARIES.

- PLUMBING DEMOLITION KEYNOTES:**
- (P1) RESTROOM RENOVATION: DEMOLISH LAVATORIES AND WATER CLOSETS AS SHOWN. DEMOLISH HW, CW, SANITARY WASTE AND VENT PIPING IN THEIR ENTIRETY.
 - (P2) EXISTING LOCKER ROOM RENOVATION: DEMOLISH ALL SHOWER FIXTURES, INCLUDING FLOOR DRAINS, HW PIPING, CW PIPING, SANITARY WASTE PIPING, AND VENT PIPING IN THEIR ENTIRETY.
 - (P3) TUNNEL RENOVATION: DEMOLISH ALL EXISTING DOMESTIC CW, HW, AND HWR PIPING IN TUNNEL INCLUDING VALVES, AND ALL ANCILLARIES.
 - (P4) DEMOLISH EXISTING HAND SINK, CW & HW PIPING, SANITARY WASTE AND VENT PIPING IN THEIR ENTIRETY.

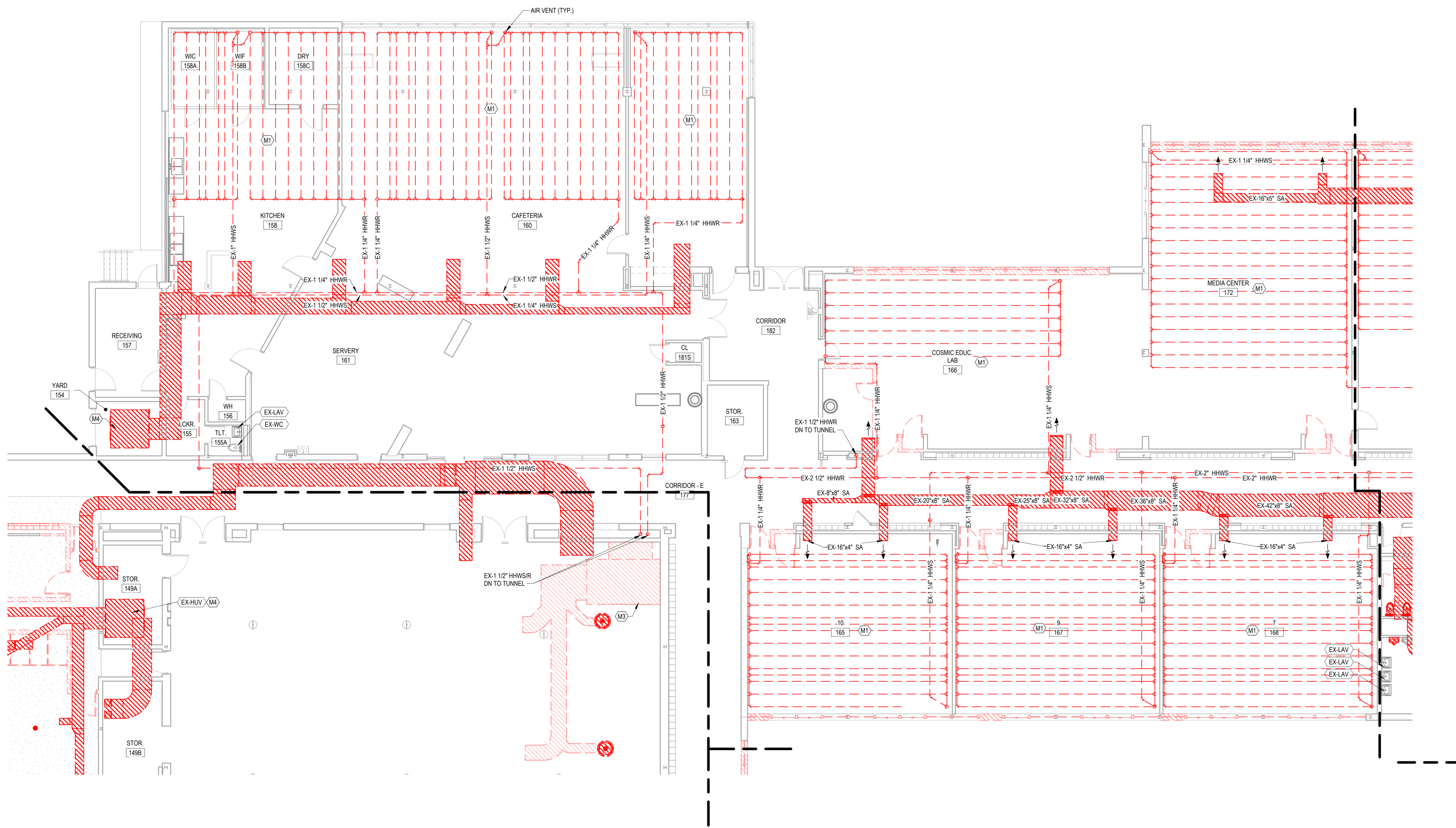
MECHANICAL / PLUMBING DEMOLITION PLAN - FIRST LEVEL - AREA B
1/8" = 1'-0"



SD - MECHANICAL / PLUMBING DEMOLITION PLAN - FIRST LEVEL - AREA B

GPRS RIVERSIDE MONTESSORI
27-JAN-2025





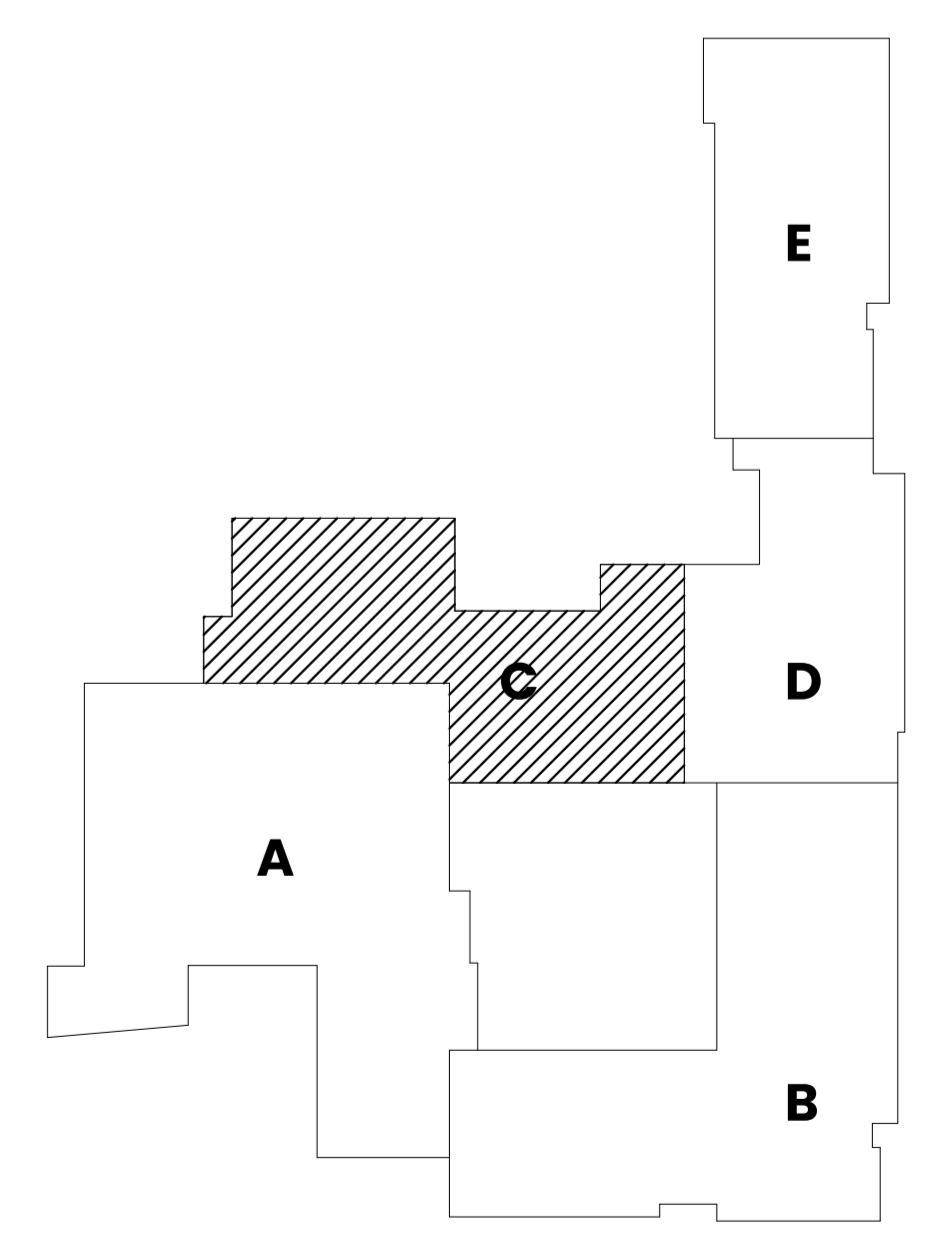
MECHANICAL / PLUMBING DEMOLITION PLAN - FIRST LEVEL - AREA C
1/8" = 1'-0"

MECHANICAL DEMOLITION KEYNOTES:

- (M1) CLASSROOM RENOVATION: DEMOLISH ALL EXISTING ABOVE-CEILING RADIANT HEATING PIPING, VALVES, THERMOSTATS, AND ALL ANCILLARIES. DEMOLISH EXISTING SUPPLY AIR DUCTWORK, RETURN AIR DUCTWORK TRANSFERRING INTO THE CORRIDORS, AND ANY RELIEF AIR DUCTWORK LEADING TO RELIEF VENTILATORS ON THE ROOF.
- (M2) BOILER ROOM RENOVATION: DEMOLISH ALL EXISTING BOILERS, BOILER FEED PUMPS, HW STORAGE TANK, BOILER FEED TANK, AIR COMPRESSOR, BLOWOFF TANK, PIPING, VALVES, AND ALL ANCILLARIES. REMOVE ANY EQUIPMENT OR PIPING ASSOCIATED WITH THE EXISTING HEATING SYSTEM.
- (M3) GYMNASIUM RENOVATION: DEMOLISH EXISTING SUSPENDED AIR HANDLING UNITS, ASSOCIATED DUCTWORK, DIFFUSERS, STEAM SUPPLY/RETURN PIPING, WALL MOUNTED RETURN GRILLES, OUTSIDE AIR LOUVERS, THERMOSTATS, AND ALL ANCILLARIES.
- (M4) MECHANICAL ROOM RENOVATION: DEMOLISH ALL EXISTING SUSPENDED UNIT VENTILATORS SERVING OTHER AREAS, AND ASSOCIATED DUCTWORK, BOOSTER COILS, STEAM SUPPLY/RETURN PIPING, OUTSIDE AIR DUCTWORK, THERMOSTATS, AND ALL ANCILLARIES.
- (M5) SHOP & GRAPHIC ARTS RENOVATION: DEMOLISH ALL EXISTING UNIT HEATERS, ASSOCIATED DUCTWORK, STEAM SUPPLY/RETURN PIPING, THERMOSTATS, AND ALL ANCILLARIES. DEMOLISH DUST COLLECTOR SYSTEM IN ITS ENTIRETY.
- (M6) RESTROOM / TOILET ROOM RENOVATION: DEMOLISH ALL EXISTING EXHAUST FANS, ASSOCIATED EXHAUST AIR DUCTWORK, DIFFUSER, AND GRILLES. DEMOLISH ANY WALL-MOUNTED ELECTRIC CONNECTORS, PATCH AND REPAIR ADJACENT SURFACES AT AREAS OF REMOVAL TO MATCH EXISTING AND/OR AS REQUIRED FOR PROPER INSTALLATION OF NEW FINISHES.
- (M7) TUNNEL RENOVATION: DEMOLISH ALL EXISTING NATURAL GAS, STEAM AND HEATING HOT WATER SUPPLY AND RETURN PIPING IN TUNNEL AND ALL LOWER LEVEL AREAS. DEMOLISH EXISTING CONDENSATE RECEIVERS, COMPRESSOR TANKS, BOOSTER PUMPS, HEAT EXCHANGERS, VALVES, AND ALL ANCILLARIES.

PLUMBING DEMOLITION KEYNOTES:

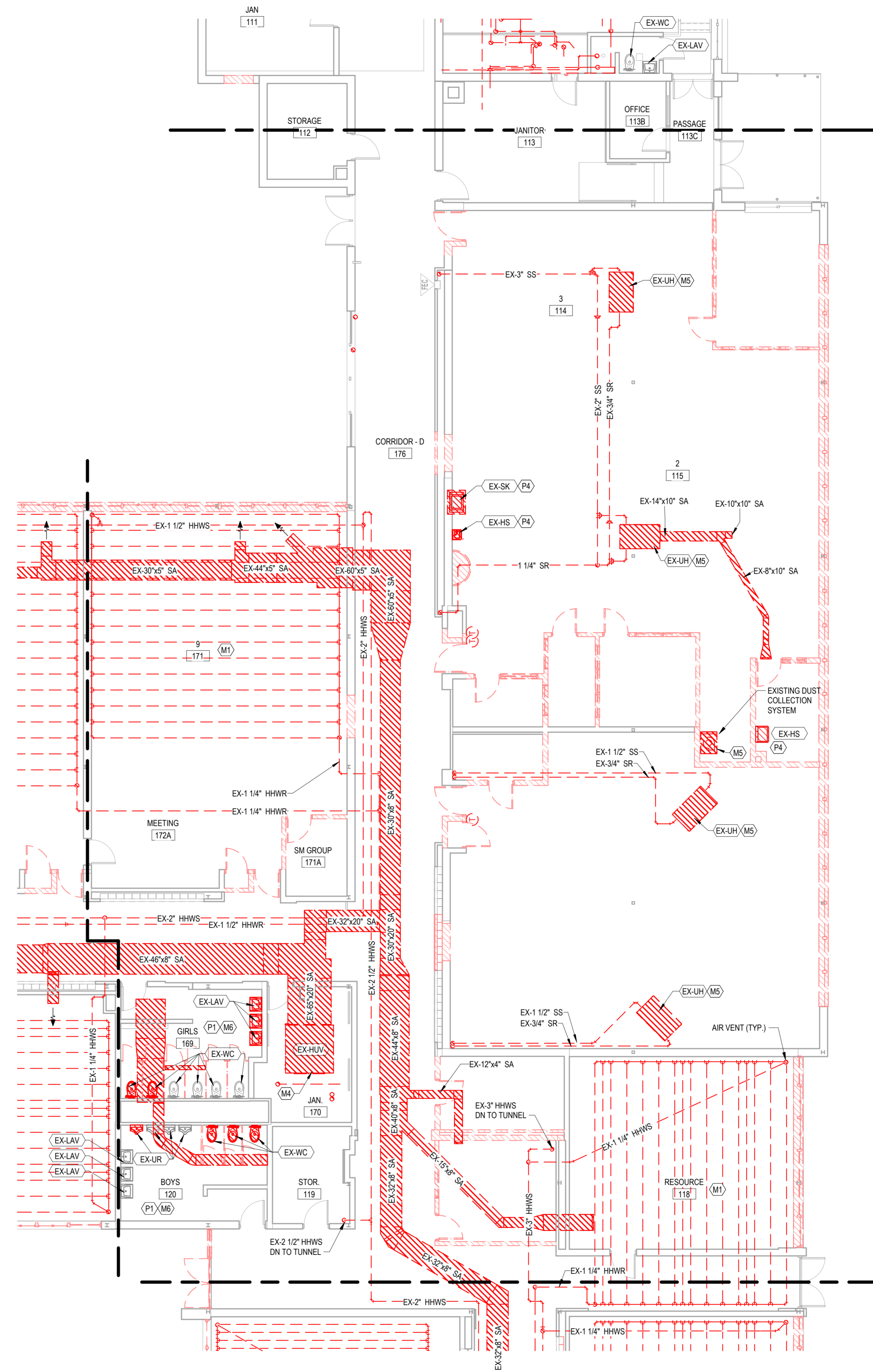
- (P1) RESTROOM RENOVATION: DEMOLISH LAVATORIES AND WATER CLOSETS AS SHOWN. DEMOLISH HW, CW, SANITARY WASTE AND VENT PIPING IN THEIR ENTIRETY.
- (P2) EXISTING LOCKER ROOM RENOVATION: DEMOLISH ALL SHOWER FIXTURES, INCLUDING FLOOR DRAINS, HW PIPING, CW PIPING, SANITARY WASTE PIPING, AND VENT PIPING IN THEIR ENTIRETY.
- (P3) TUNNEL RENOVATION: DEMOLISH ALL EXISTING DOMESTIC CW, HW, AND HWR PIPING IN TUNNEL INCLUDING VALVES, AND ALL ANCILLARIES.
- (P4) DEMOLISH EXISTING HAND SINK, CW & HW PIPING, SANITARY WASTE AND VENT PIPING IN THEIR ENTIRETY.



SD - MECHANICAL / PLUMBING DEMOLITION PLAN - FIRST LEVEL - AREA C

GPRS RIVERSIDE MONTESSORI
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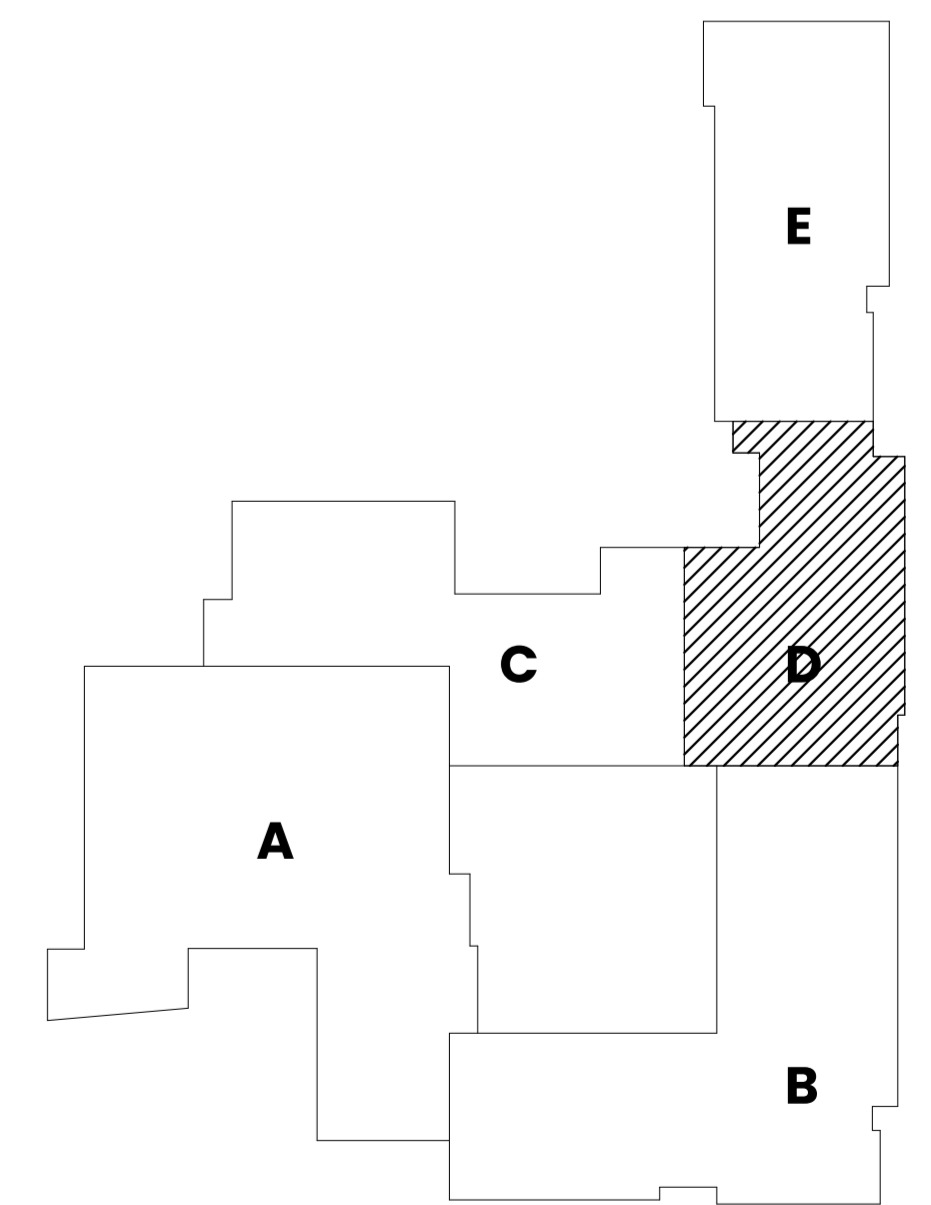


MECHANICAL DEMOLITION KEYNOTES:

- (M1) CLASSROOM RENOVATION: DEMOLISH ALL EXISTING ABOVE-CEILING RADIANT HEATING PIPING, VALVES, THERMOSTATS, AND ALL ANCILLARIES. DEMOLISH EXISTING SUPPLY AIR DUCTWORK, RETURN AIR DUCTWORK TRANSFERRING INTO THE CORRIDORS, AND ANY RELIEF AIR DUCTWORK LEADING TO RELIEF VENTILATORS ON THE ROOF.
- (M2) BOILER ROOM RENOVATION: DEMOLISH ALL EXISTING BOILERS, BOILER FEED PUMPS, HW STORAGE TANK, BOILER FEED TANK, AIR COMPRESSOR, BLOWOFF TANK, PIPING, VALVES, AND ALL ANCILLARIES. REMOVE ANY EQUIPMENT OR PIPING ASSOCIATED WITH THE EXISTING HEATING SYSTEM.
- (M3) GYMNASIUM RENOVATION: DEMOLISH EXISTING SUSPENDED AIR HANDLING UNITS, ASSOCIATED DUCTWORK, DIFFUSERS, STEAM SUPPLY/RETURN PIPING, WALL MOUNTED RETURN GRILLES, OUTSIDE AIR LOUVERS, THERMOSTATS, AND ALL ANCILLARIES.
- (M4) MECHANICAL ROOM RENOVATION: DEMOLISH ALL EXISTING SUSPENDED UNIT VENTILATORS SERVING OTHER AREAS, AND ASSOCIATED DUCTWORK, BOOSTER COILS, STEAM SUPPLY/RETURN PIPING, OUTSIDE AIR DUCTWORK, THERMOSTATS, AND ALL ANCILLARIES.
- (M5) SHOP & GRAPHIC ARTS RENOVATION: DEMOLISH ALL EXISTING UNIT HEATERS, ASSOCIATED DUCTWORK, STEAM SUPPLY/RETURN PIPING, THERMOSTATS, AND ALL ANCILLARIES. DEMOLISH DUST COLLECTOR SYSTEM IN ITS ENTIRETY.
- (M6) RESTROOM / TOILET ROOM RENOVATION: DEMOLISH ALL EXISTING EXHAUST FANS, ASSOCIATED EXHAUST AIR DUCTWORK, DIFFUSER, AND GRILLES. DEMOLISH ANY WALL MOUNTED ELECTRIC CONNECTORS, PATCH AND REPAIR ADJACENT SURFACES AT AREAS OF REMOVAL TO MATCH EXISTING AND/OR AS REQUIRED FOR PROPER INSTALLATION OF NEW FINISHES.
- (M7) TUNNEL RENOVATION: DEMOLISH ALL EXISTING NATURAL GAS, STEAM AND HEATING HOT WATER SUPPLY AND RETURN PIPING IN TUNNEL AND ALL LOWER LEVEL AREAS. DEMOLISH EXISTING CONDENSATE RECEIVERS, COMPRESSOR TANKS, BOOSTER PUMPS, HEAT EXCHANGERS, VALVES, AND ALL ANCILLARIES.

PLUMBING DEMOLITION KEYNOTES:

- (P1) RESTROOM RENOVATION: DEMOLISH LAVATORIES AND WATER CLOSETS AS SHOWN. DEMOLISH HW, CW, SANITARY WASTE AND VENT PIPING IN THEIR ENTIRETY.
- (P2) EXISTING LOCKER ROOM RENOVATION: DEMOLISH ALL SHOWER FIXTURES, INCLUDING FLOOR DRAINS, HW PIPING, CW PIPING, SANITARY WASTE PIPING, AND VENT PIPING IN THEIR ENTIRETY.
- (P3) TUNNEL RENOVATION: DEMOLISH ALL EXISTING DOMESTIC CW, HW, AND HWR PIPING IN TUNNEL INCLUDING VALVES, AND ALL ANCILLARIES.
- (P4) DEMOLISH EXISTING HAND SINK, CW & HW PIPING, SANITARY WASTE AND VENT PIPING IN THEIR ENTIRETY.



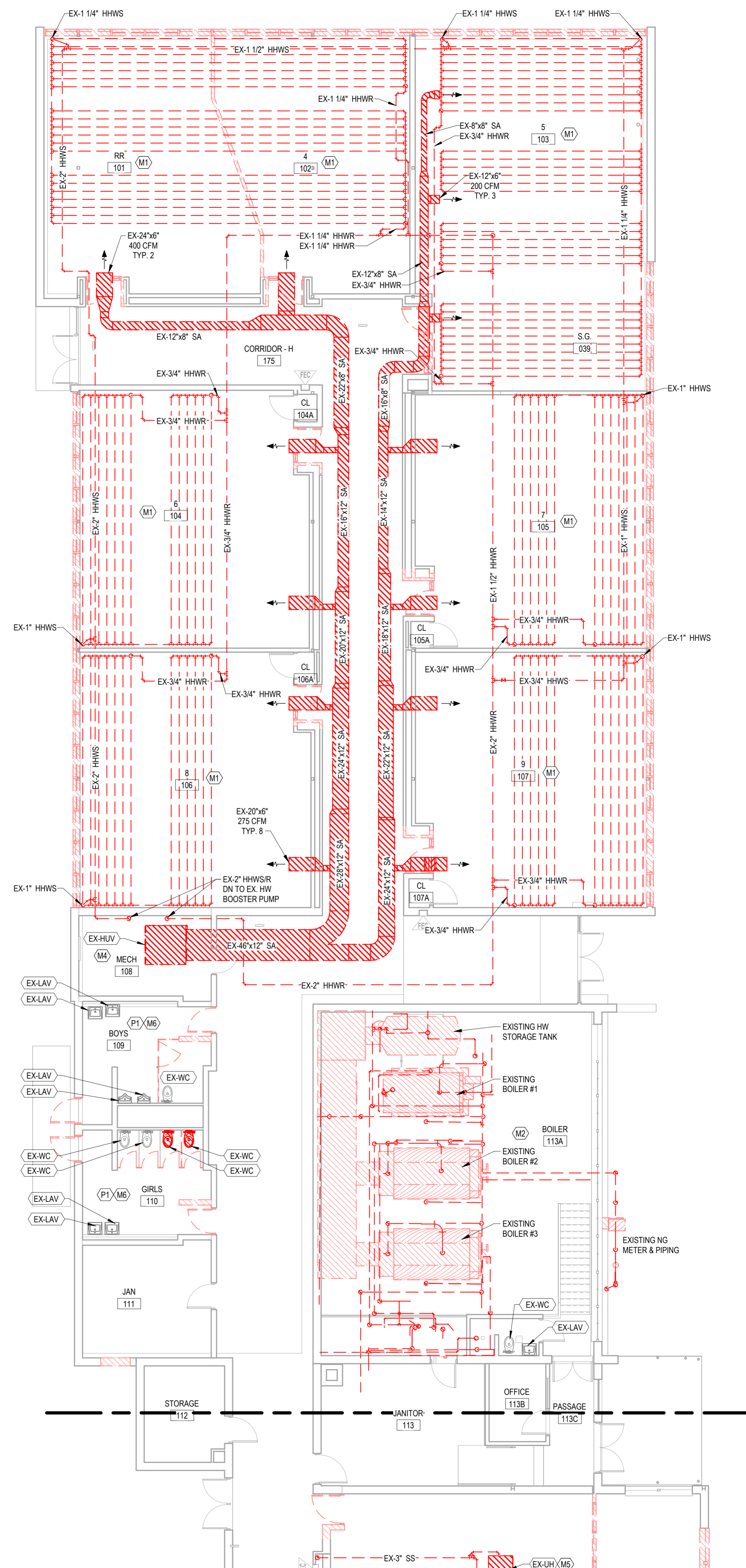
MECHANICAL / PLUMBING DEMOLITION PLAN - FIRST LEVEL - AREA D
1/8" = 1'-0"

SD - MECHANICAL / PLUMBING DEMOLITION PLAN - FIRST LEVEL - AREA D

GPRS RIVERSIDE MONTESSORI

27-JAN-2025





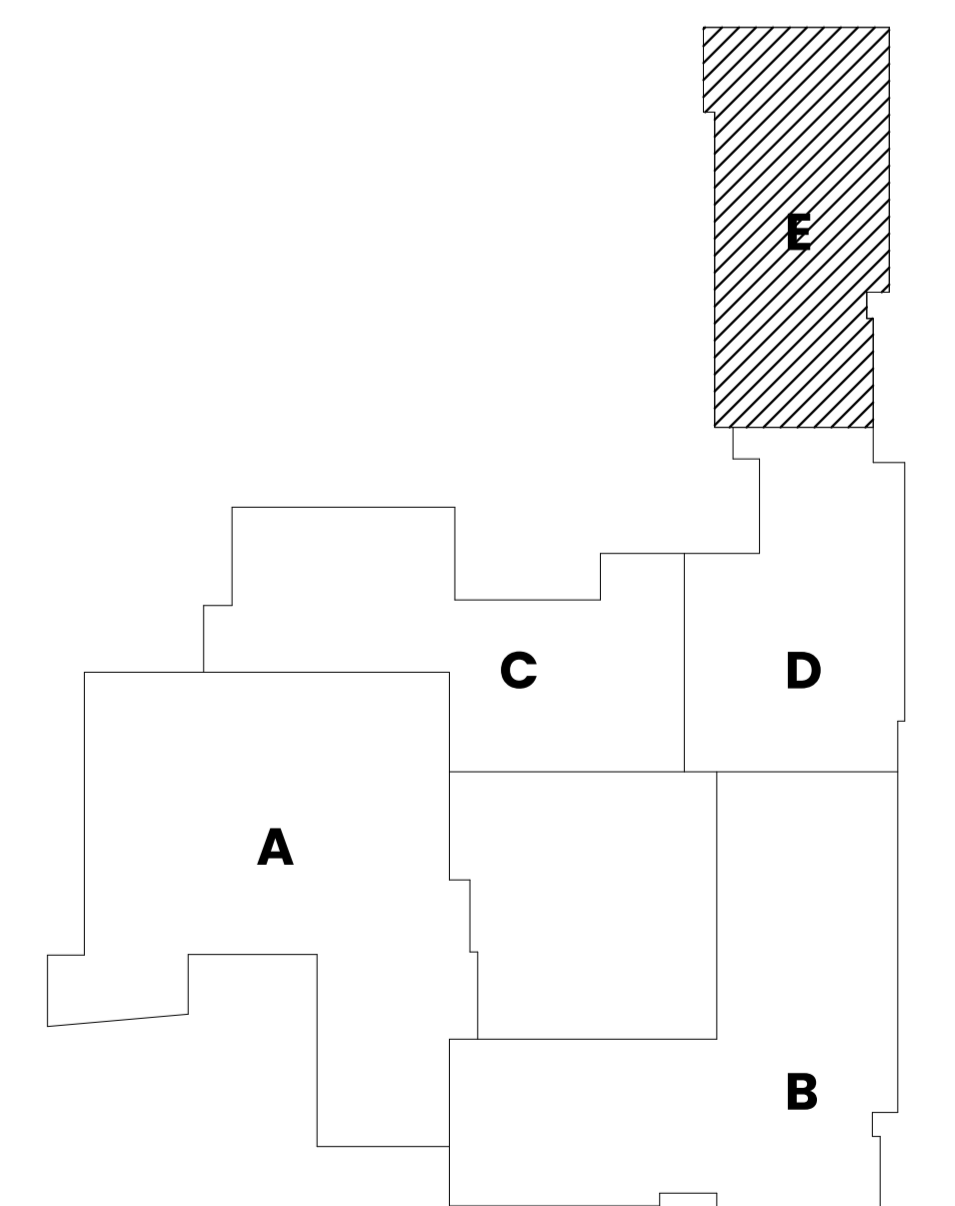
MECHANICAL DEMOLITION KEYNOTES:

- (M1) CLASSROOM RENOVATION: DEMOLISH ALL EXISTING ABOVE-CEILING RADIANT HEATING PIPING, VALVES, THERMOSTATS, AND ALL ANCILLARIES. DEMOLISH EXISTING SUPPLY AIR DUCTWORK, RETURN AIR DUCTWORK TRANSFERRING INTO THE CORRIDORS, AND ANY RELIEF AIR DUCTWORK LEADING TO RELIEF VENTILATORS ON THE ROOF.
- (M2) BOILER ROOM RENOVATION: DEMOLISH ALL EXISTING BOILERS, BOILER FEED PUMPS, HW STORAGE TANK, BOILER FEED TANK, AIR COMPRESSOR, BLOWOFF TANK, PIPING, VALVES, AND ALL ANCILLARIES. REMOVE ANY EQUIPMENT OR PIPING ASSOCIATED WITH THE EXISTING HEATING SYSTEM.
- (M3) GYMNASIUM RENOVATION: DEMOLISH EXISTING SUSPENDED AIR HANDLING UNITS, ASSOCIATED DUCTWORK, DIFFUSERS, STEAM SUPPLY/RETURN PIPING, WALL MOUNTED RETURN GRILLES, OUTSIDE AIR LOUVERS, THERMOSTATS, AND ALL ANCILLARIES.
- (M4) MECHANICAL ROOM RENOVATION: DEMOLISH ALL EXISTING SUSPENDED UNIT VENTILATORS SERVING OTHER AREAS, AND ASSOCIATED DUCTWORK, BOOSTER COILS, STEAM SUPPLY/RETURN PIPING, OUTSIDE AIR DUCTWORK, THERMOSTATS, AND ALL ANCILLARIES.
- (M5) SHOP & GRAPHIC ARTS RENOVATION: DEMOLISH ALL EXISTING UNIT HEATERS, ASSOCIATED DUCTWORK, STEAM SUPPLY/RETURN PIPING, THERMOSTATS, AND ALL ANCILLARIES. DEMOLISH DUST COLLECTOR SYSTEM IN ITS ENTIRETY.
- (M6) RESTROOM / TOILET ROOM RENOVATION: DEMOLISH ALL EXISTING EXHAUST FANS, ASSOCIATED EXHAUST AIR DUCTWORK, DIFFUSER, AND GRILLES. DEMOLISH ANY WALL-MOUNTED ELECTRIC CONVERTERS, PATCH AND REPAIR ADJACENT SURFACES AT AREAS OF REMOVAL TO MATCH EXISTING AND/OR AS REQUIRED FOR PROPER INSTALLATION OF NEW FINISHES.
- (M7) TUNNEL RENOVATION: DEMOLISH ALL EXISTING NATURAL GAS, STEAM AND HEATING HOT WATER SUPPLY AND RETURN PIPING IN TUNNEL AND ALL LOWER LEVEL AREAS. DEMOLISH EXISTING CONDENSATE RECEIVERS, COMPRESSOR TANKS, BOOSTER PUMPS, HEAT EXCHANGERS, VALVES, AND ALL ANCILLARIES.

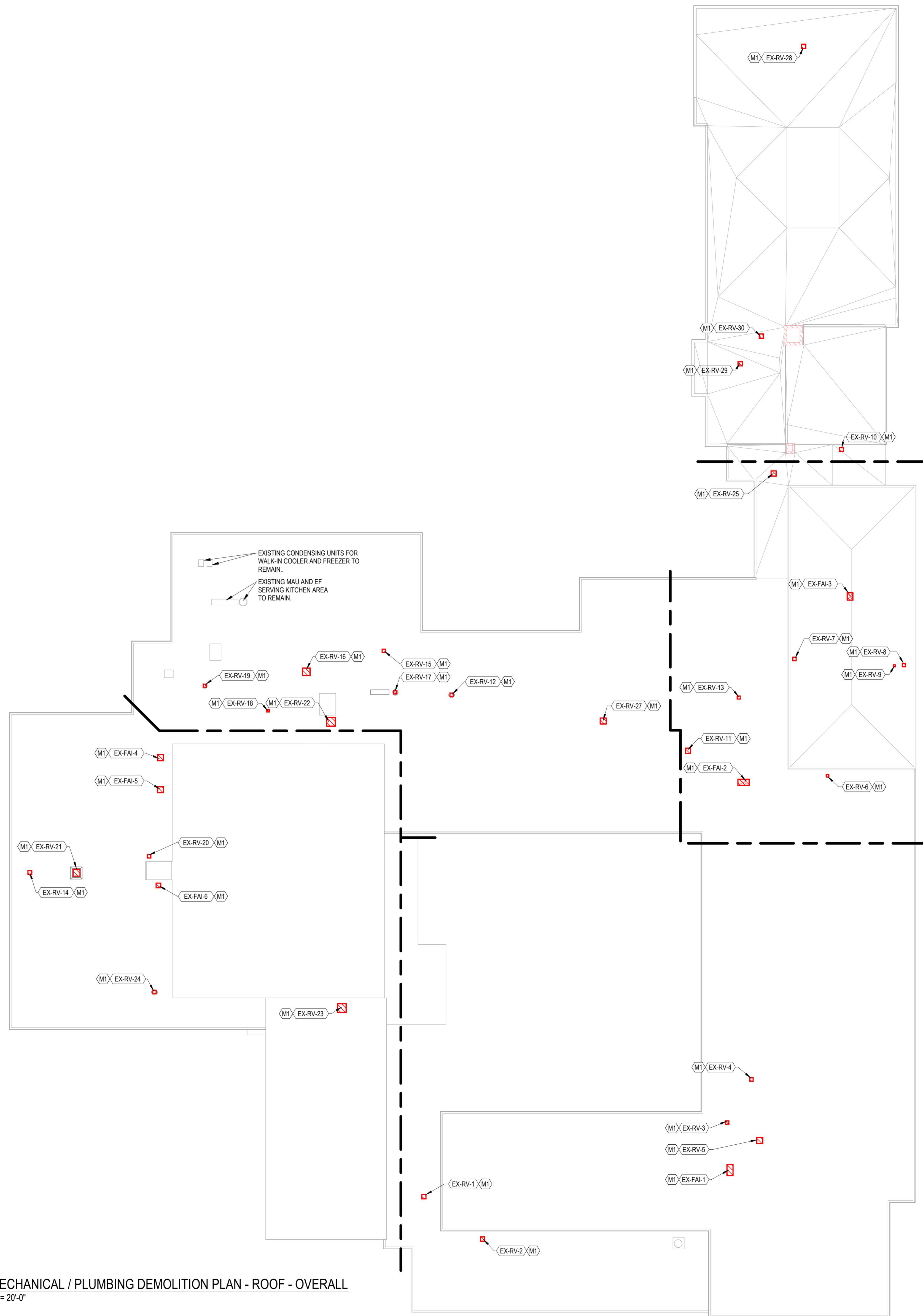
PLUMBING DEMOLITION KEYNOTES:

- (P1) RESTROOM RENOVATION: DEMOLISH LAVATORIES AND WATER CLOSETS AS SHOWN. DEMOLISH HW, CW, SANITARY WASTE AND VENT PIPING IN THEIR ENTIRETY.
- (P2) EXISTING LOCKER ROOM RENOVATION: DEMOLISH ALL SHOWER FIXTURES, INCLUDING FLOOR DRAINS, HW PIPING, CW PIPING, SANITARY WASTE PIPING, AND VENT PIPING IN THEIR ENTIRETY.
- (P3) TUNNEL RENOVATION: DEMOLISH ALL EXISTING DOMESTIC CW, HW, AND HWR PIPING IN TUNNEL INCLUDING VALVES, AND ALL ANCILLARIES.
- (P4) DEMOLISH EXISTING HAND SINK, CW & HW PIPING, SANITARY WASTE AND VENT PIPING IN THEIR ENTIRETY.

MECHANICAL / PLUMBING DEMOLITION PLAN - FIRST LEVEL - AREA E
1/8" = 1'-0"



SD - MECHANICAL / PLUMBING DEMOLITION PLAN - FIRST LEVEL - AREA E



MECHANICAL DEMOLITION ROOF KEYNOTES:
 (M) DEMOLISH EXISTING RELIEF VENTILATOR, ROOF VENT, EXHAUST FAN, OR FRESH AIR INTAKE INCLUDING BUT NOT LIMITED TO: EXISTING ROOF CURB, CONTROLS, CONTROL DAMPER, DUCTWORK, AND BIRD SCREEN. PATCH AND REPAIR ADJACENT SURFACES AT AREAS OF REMOVAL TO MATCH EXISTING AND/OR AS REQUIRED FOR PROPER INSTALLATION OF NEW FINISHES.

MECHANICAL / PLUMBING DEMOLITION PLAN - ROOF - OVERALL
 1" = 20'-0"

SD - MECHANICAL / PLUMBING DEMOLITION PLAN - ROOF

GPRS RIVERSIDE MONTESSORI
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MECHANICAL / PLUMBING PLAN - LOWER LEVEL - OVERALL
1" = 20'-0"

MECHANICAL KEYNOTES:

- M1 RTU ZONES (CLASSROOM RENOVATION - OPTION 1): PROVIDE 15 MBH OF HYDRONIC RADIANT PANELS AT EXTERIOR WALLS SERVED FROM NEW HYDRONIC PIPING SYSTEM. RUNTAL R-6 BASIS OF DESIGN. PROVIDE A MULTI-ZONE 8,000 CFM, CHILLED WATER COOLING ONLY MULTI-ZONE ROOF TOP UNIT WITH DISTRIBUTION SUPPLY/RETURN DUCTWORK INTO THE SPACE. PROVIDE A 200 MBH DUCT-MOUNTED HOT WATER HEATING COIL, 45/70°F EAT/LAT, IN THE SUPPLY DUCT DOWNSTREAM OF THE RTU. PROVIDE A VAV BOX WITH A HOT WATER REHEAT COIL, 70/90°F EAT/LAT, FOR EACH INDIVIDUAL SPACE SERVED. PROVIDE 1 CFM/SF FOR CLASSROOMS, RESOURCE ROOMS, AND OTHER STUDY ROOMS, 0.33 CFM/SF FOR CORRIDORS. COMBINE MULTIPLE SPACES INTO ONE ZONE AS NECESSARY. HYDRONIC HOT WATER SUPPLY AND RETURN PIPING BRANCHES ROUTED TO MAINS IN TUNNEL, INSULATED AND LABELED.
- M2 CLASSROOM RENOVATION - VUV (OPTION 2): IN LIEU OF OPTION 1, PROVIDE A 4-PIPE VERTICAL UNIT VENTILATOR, CHILLED WATER COOLING, HOT WATER HEATING, WITH DISTRIBUTION SUPPLY/RETURN DUCTWORK INTO THE SPACE. CHANGEAIR FRESH-AIR CABINET, POWERED RELIEF, IQ SOUND, BASIS OF DESIGN. PROVIDE 1 CFM/SF FOR CLASSROOMS, RESOURCE ROOMS, AND OTHER STUDY ROOMS, 0.33 CFM/SF FOR CORRIDORS. COMBINE MULTIPLE SPACES INTO ONE ZONE AS NECESSARY. HYDRONIC HOT WATER SUPPLY AND RETURN PIPING BRANCHES ROUTED TO MAINS IN TUNNEL, INSULATED AND LABELED.
- M3 GYMNASIUM RENOVATION: PROVIDE (2) NEW SUSPENDED 4-PIPE AIR HANDLING UNITS, APPROX. 5500 CFM EACH, 250 MBH CHILLED WATER COILS, 250 MBH HOT WATER COILS, EXPOSED SUPPLY DUCTWORK WITH DUCT-MOUNTED HIGH THROW DIFFUSERS, RETURN AIR DUCTWORK DOWN WALL CHASE TO LOW RETURN GRILLES.
- M4 SECURED VESTIBULE ADDITION: PROVIDE 40 MBH OF HYDRONIC RADIANT PANELS SERVED FROM THE NEW HYDRONIC HOT WATER HEATING SYSTEM TO COVER THE NEW SECURED VESTIBULE. APPROXIMATELY 40 LINEAL FEET OF RUNTAL RADIANT PANEL, ONE WALL MOUNTED THERMOSTAT, AND APPROXIMATELY TOTAL 100' OF 1" HEATING HOT WATER SUPPLY AND RETURN PIPING, INSULATED AND LABELED.
- M5 KITCHEN / SERVARY AREA: EXISTING ROOF-MOUNTED MAKEUP AIR UNIT AND EXHAUST FAN SYSTEM SERVING KITCHEN AREA TO REMAIN. EXISTING ROOF-MOUNTED CONDENSING UNITS SERVING WALK-IN COOLER AND FREEZER TO REMAIN.
- M6 CAFETERIA & GUIDE PLANNING AREA: EXISTING ROOFTOP UNIT SERVING CAFETERIA AREA TO REMAIN.
- M7 BOILER ROOM RENOVATION: PROVIDE (3) NEW 2500 MBH NG-FIRED CONDENSING BOILERS N-1 REDUNDANCY CONFIGURATION, VISSMANN VITOCROSSAL 300 CAB BASIS OF DESIGN. PROVIDE (2) NEW BASE-MOUNTED END-SUCTION PUMPS 150 GPM EACH, BELL & GOSSETT SERIES E-1510 BASIS OF DESIGN. 4" HEATING HOT WATER SUPPLY & RETURN MAINS TO RUN IN THE TUNNEL FROM BOILER ROOM TO HEATING COILS AND PERFORMER HEAT WITHIN THE BUILDING.
- M8 NEW AIR-COOLED CHILLER: PROVIDE A NEW 300 TON AIR-COOLED SCREW CHILLER, 30% PROPYLENE GLYCOL FLUID, R-513A REFRIGERANT, TRANE AC300 MODEL, BASIS OF DESIGN. PROVIDE (2) NEW BASE-MOUNTED END-SUCTION PUMPS 285 GPM EACH, BELL & GOSSETT SERIES E-1510 BASIS OF DESIGN. INSTALL 5" CHILLED WATER SUPPLY & RETURN MAINS IN THE TUNNEL FROM BOILER ROOM, DISTRIBUTED TO CHILLED WATER COILS WITHIN THE BUILDING AND ON ROOF.
- M9 EXTERIOR STAIRWELLS AND VESTIBULES: PROVIDE A 25 MBH CABINET UNIT HEATER SERVED FROM THE NEW HYDRONIC HOT WATER HEATING SYSTEM TO COVER THE ENVELOPE HEAT LOSS OF SPACE. ONE WALL MOUNTED THERMOSTAT, AND APPROXIMATELY TOTAL 100' OF 3/4" HEATING HOT WATER SUPPLY AND RETURN PIPING, INSULATED AND LABELED.
- M10 TOILET ROOM RENOVATION: PROVIDE NEW EXHAUST FAN FOR SPACES SHOWN, 70 CFM PER WATER CLOSET OR URINAL. COMBINE EXHAUST NEEDS FOR MULTIPLE SPACES INTO ONE EXHAUST FAN WHERE APPROPRIATE.
- M11 UNOCCUPIED STORAGE ROOMS & JANITOR CLOSETS: PROVIDE 50 CFM OF EXHAUST AIR FOR JANITOR CLOSETS. PROVIDE EXHAUST GRILLE, COMBINE TO NEARBY EXHAUST FAN SYSTEM OR INSTALL INDIVIDUAL CEILING MOUNTED FAN PER SPACE.
- M12 LOWER LEVEL LEARNING AREA RENOVATION: PROVIDE NEW 4-PIPE BLOWER COIL UNIT OR SUSPENDED HORIZONTAL UNIT VENTILATOR, APPROX. 4000 CFM, CHILLED WATER & HEATING HOT WATER COILS.
- M13 TUNNEL RENOVATION: INSTALL ALL NEW 4" HEATING HOT WATER SUPPLY & RETURN MAINS AND 5" CHILLED WATER SUPPLY & RETURN MAINS IN THE TUNNEL FROM BOILER ROOM.

PLUMBING / FIRE PROTECTION KEYNOTES:

- P1 ALL NEW 6" FIRE SERVICE INTO BOILER ROOM AND 6" DUAL CHECK DETECTOR.
- P2 ALL NEW FIRE PROTECTION MAINS WILL BE ROUTED THROUGH TUNNEL AND WILL PENETRATE THE FLOOR TO SERVE THE MAIN LEVEL WHERE REQUIRED.
- P3 TOILET ROOM RENOVATION: PROVIDE NEW WATER CLOSETS AND LAVATORIES AS SHOWN. INSTALL 1/2" CW PIPING WITH BALANCING VALVE TO LAVATORIES AND WATER CLOSETS, 1/2" HW PIPING WITH BALANCING VALVE TO LAVATORIES. ALL NEW SANITARY WASTE AND VENT PIPING INSTALLED FOR ALL NEW FIXTURES.
- P4 BOILER ROOM RENOVATION: PROVIDE A NEW 199 MBH GAS WATER HEATER AND DOMESTIC WATER CIRCULATION PUMP.
- P5 TUNNEL RENOVATION: INSTALL NEW 3" DOMESTIC COLD WATER AND 2 1/2" HW MAINS IN TUNNEL TO FEED PLUMBING FIXTURES THROUGHOUT THE BUILDING.

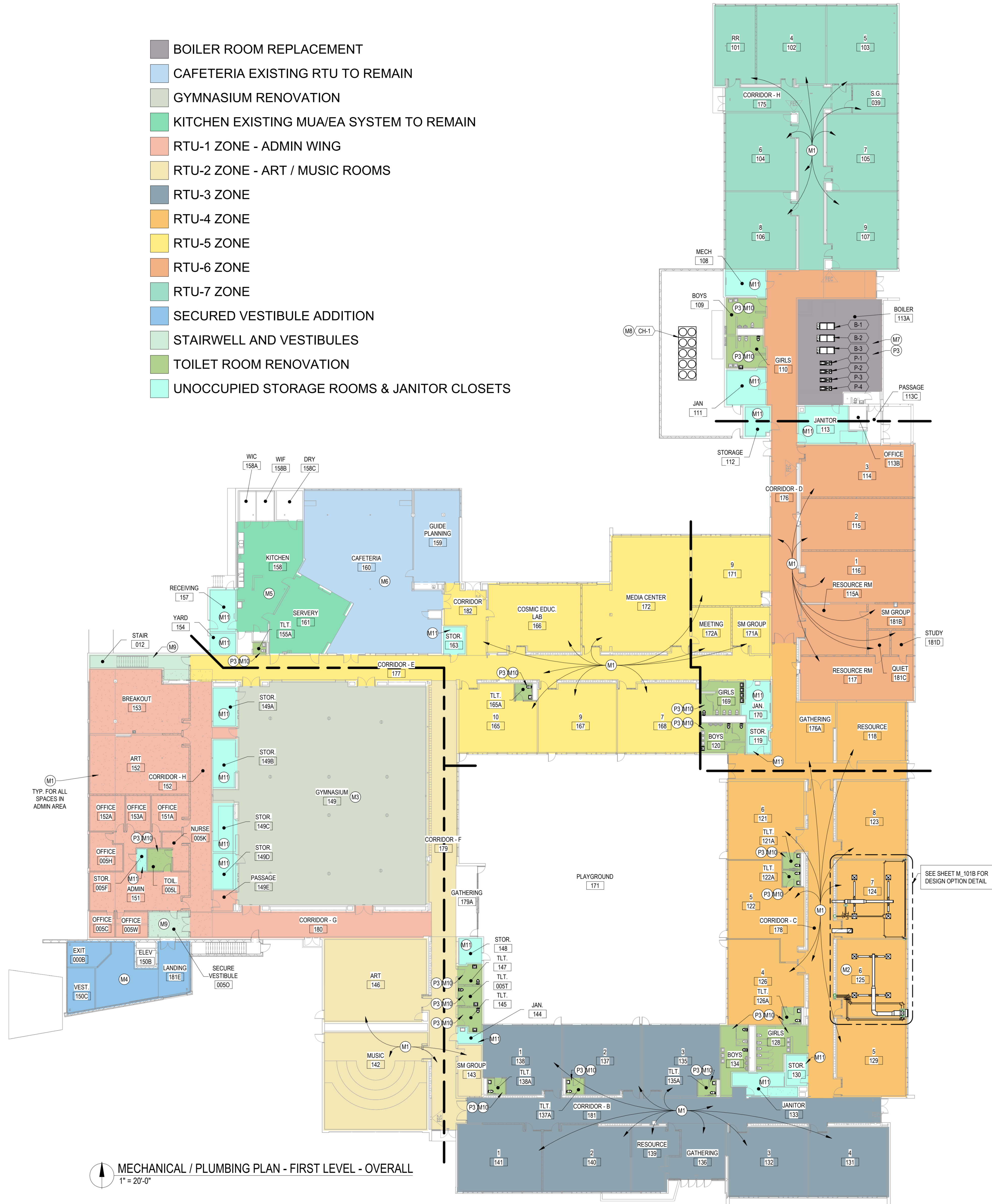
SD - MECHANICAL / PLUMBING PLAN - LOWER LEVEL

GPRS RIVERSIDE MONTESSORI

27-JAN-2025



- BOILER ROOM REPLACEMENT
- CAFETERIA EXISTING RTU TO REMAIN
- GYMNASIUM RENOVATION
- KITCHEN EXISTING MUA/EA SYSTEM TO REMAIN
- RTU-1 ZONE - ADMIN WING
- RTU-2 ZONE - ART / MUSIC ROOMS
- RTU-3 ZONE
- RTU-4 ZONE
- RTU-5 ZONE
- RTU-6 ZONE
- RTU-7 ZONE
- SECURED VESTIBULE ADDITION
- STAIRWELL AND VESTIBULES
- TOILET ROOM RENOVATION
- UNOCCUPIED STORAGE ROOMS & JANITOR CLOSETS



- MECHANICAL KEYNOTES:**
- (M1) RTU ZONES (CLASSROOM RENOVATION - OPTION 1): PROVIDE 15 MBH OF HYDRONIC RADIANT PANELS AT EXTERIOR WALLS SERVED FROM NEW HYDRONIC PIPING SYSTEM, RUNTAL R-5 BASIS OF DESIGN. PROVIDE A MULTI-ZONE 8,000 CFM, CHILLED WATER COOLING ONLY MULTI-ZONE ROOF TOP UNIT WITH DISTRIBUTION SUPPLY/RETURN DUCTWORK INTO THE SPACE. PROVIDE A 220 MBH DUCT-MOUNTED HOT WATER HEATING COIL, 45/70°F EAT/LAT, IN THE SUPPLY DUCT DOWNSTREAM OF THE RTU. PROVIDE A VAN BOX WITH A HOT WATER REHEAT COIL, 70/85°F EAT/LAT, FOR EACH INDIVIDUAL SPACE SERVED. PROVIDE 1 CFMSF FOR CLASSROOMS, RESOURCE ROOMS, AND OTHER STUDY ROOMS, 0.33 CFMSF FOR CORRIDORS. HOT WATER SUPPLY AND RETURN PIPING BRANCHES ROUTED TO MAINS IN TUNNEL, INSULATED AND LABELED.
 - (M2) CLASSROOM RENOVATION - VVV (OPTION 2): IN LIEU OF OPTION 1, PROVIDE A 4-PIPE VERTICAL UNIT VENTILATOR, CHILLED WATER COOLING, HOT WATER HEATING, WITH DISTRIBUTION SUPPLY/RETURN DUCTWORK INTO THE SPACE. CHANGE/REAR FRESHMAN B CABINET, POWERED RELIEF, IQ SOUND, BASIS OF DESIGN. PROVIDE 1 CFMSF FOR CLASSROOMS, RESOURCE ROOMS, AND OTHER STUDY ROOMS, 0.33 CFMSF FOR CORRIDORS, COMBINE MULTIPLE SPACES INTO ONE ZONE AS NECESSARY. HYDRONIC HOT WATER SUPPLY AND RETURN PIPING BRANCHES ROUTED TO MAINS IN TUNNEL, INSULATED AND LABELED.
 - (M3) GYMNASIUM RENOVATION: PROVIDE (2) NEW SUSPENDED 4-PIPE AIR HANDLING UNITS, APPROX. 5500 CFM EACH, 250 MBH CHILLED WATER COILS, 250 MBH HOT WATER COILS, EXPOSED SUPPLY DUCTWORK WITH DUCT-MOUNTED HIGH THROW DIFFUSERS, RETURN AIR DUCTWORK DOWN WALL CHASE TO LOW RETURN GRILLES.
 - (M4) SECURED VESTIBULE ADDITION: PROVIDE 40 MBH OF HYDRONIC RADIANT PANELS SERVED FROM THE NEW HYDRONIC HOT WATER HEATING SYSTEM TO COVER THE NEW SECURE VESTIBULE. APPROXIMATELY 40 LINEAL FEET OF RUNTAL RADIANT PANEL, ONE WALL MOUNTED THERMOSTAT, AND APPROXIMATELY TOTAL 100' OF 1" HEATING HOT WATER SUPPLY AND RETURN PIPING, INSULATED AND LABELED.
 - (M5) KITCHEN / SERVERY AREA: EXISTING ROOF-MOUNTED MAKEUP AIR UNIT AND EXHAUST FAN SYSTEM SERVING KITCHEN AREA TO REMAIN. EXISTING ROOF-MOUNTED CONDENSING UNITS SERVING WALK-IN COOLER AND FREEZER TO REMAIN.
 - (M6) CAFETERIA & GUIDE PLANNING AREA: EXISTING ROOFTOP UNIT SERVING CAFETERIA AREA TO REMAIN.
 - (M7) BOILER ROOM RENOVATION: PROVIDE (3) NEW 2500 MBH NG-FIRED CONDENSING BOILERS M-1 REDUNDANCY CONFIGURATION, VISSMANN VITOCROSSAL 300 C43B BASIS OF DESIGN. PROVIDE (2) NEW BASE-MOUNTED END-SUCTION PUMPS 285 GPM EACH, BELL & GOSSETT SERIES E-1510 BASIS OF DESIGN, 4" HEATING HOT WATER SUPPLY & RETURN MAINS TO RUN IN THE TUNNEL FROM BOILER ROOM, DISTRIBUTED TO CHILLED WATER COILS WITHIN THE BUILDING AND ON ROOF.
 - (M8) NEW AIR-COOLED CHILLER: PROVIDE A NEW 300 TON AIR-COOLED SCREW CHILLER, 30% PROPYLENE GLYCOL FLUID, R-513A REFRIGERANT, TRANE ACR300 MODEL BASIS OF DESIGN. PROVIDE (2) NEW BASE-MOUNTED END-SUCTION PUMPS 285 GPM EACH, BELL & GOSSETT SERIES E-1510 BASIS OF DESIGN. INSTALL 5" CHILLED WATER SUPPLY & RETURN MAINS IN THE TUNNEL FROM BOILER ROOM, DISTRIBUTED TO CHILLED WATER COILS WITHIN THE BUILDING AND ON ROOF.
 - (M9) EXTERIOR STAIRWELLS AND VESTIBULES: PROVIDE A 25 MBH CABINET UNIT HEATER SERVED FROM THE NEW HYDRONIC HOT WATER HEATING SYSTEM TO COVER THE ENVELOPE HEAT LOSS OF SPACE. ONE WALL MOUNTED THERMOSTAT, AND APPROXIMATELY TOTAL 100' OF 3/4" HEATING HOT WATER SUPPLY AND RETURN PIPING, INSULATED AND LABELED.
 - (M10) TOILET ROOM RENOVATION: PROVIDE NEW EXHAUST FAN FOR SPACES SHOWN, 70 CFM PER WATER CLOSET OR URINAL, COMBINE EXHAUST NEEDS FOR MULTIPLE SPACES INTO ONE EXHAUST FAN WHERE APPROPRIATE.
 - (M11) UNOCCUPIED STORAGE ROOMS & JANITOR CLOSETS: PROVIDE 50 CFM OF EXHAUST AIR FOR JANITOR CLOSETS, PROVIDE EXHAUST GRILLE, COMBINE TO NEARBY EXHAUST FAN SYSTEM OR INSTALL INDIVIDUAL CEILING MOUNTED FAN PER SPACE.
 - (M12) LOWER LEVEL LEARNING AREA RENOVATION: PROVIDE NEW 4-PIPE BLOWER COIL UNIT OR SUSPENDED HORIZONTAL UNIT VENTILATOR, APPROX. 4000 CFM, CHILLED WATER & HEATING HOT WATER COILS.
 - (M13) TUNNEL RENOVATION: INSTALL ALL NEW 4" HEATING HOT WATER SUPPLY & RETURN MAINS AND 5" CHILLED WATER SUPPLY & RETURN MAINS IN THE TUNNEL FROM BOILER ROOM.

- PLUMBING / FIRE PROTECTION KEYNOTES:**
- (P1) ALL NEW 6" FIRE SERVICE INTO BOILER ROOM AND 6" DUAL CHECK DETECTOR.
 - (P2) ALL NEW FIRE PROTECTION MAINS WILL BE ROUTED THROUGH TUNNEL AND WILL PENETRATE THE FLOOR TO SERVE THE MAIN LEVEL WHERE REQUIRED.
 - (P3) TOILET ROOM RENOVATION: PROVIDE NEW WATER CLOSETS AND LAVATORIES AS SHOWN. INSTALL 1/2" CW PIPING WITH BALANCING VALVE TO LAVATORIES AND WATER CLOSETS, 1/2" HW PIPING WITH BALANCING VALVE TO LAVATORIES. ALL NEW SANITARY WASTE AND VENT PIPING INSTALLED FOR ALL NEW FIXTURES.
 - (P4) BOILER ROOM RENOVATION: PROVIDE A NEW 199 MBH GAS WATER HEATER AND DOMESTIC WATER CIRCULATION PUMP.
 - (P5) TUNNEL RENOVATION: INSTALL ALL NEW 3" DOMESTIC COLD WATER AND 2 1/2" HW MAINS IN TUNNEL TO FEED PLUMBING FIXTURES THROUGHOUT THE BUILDING.

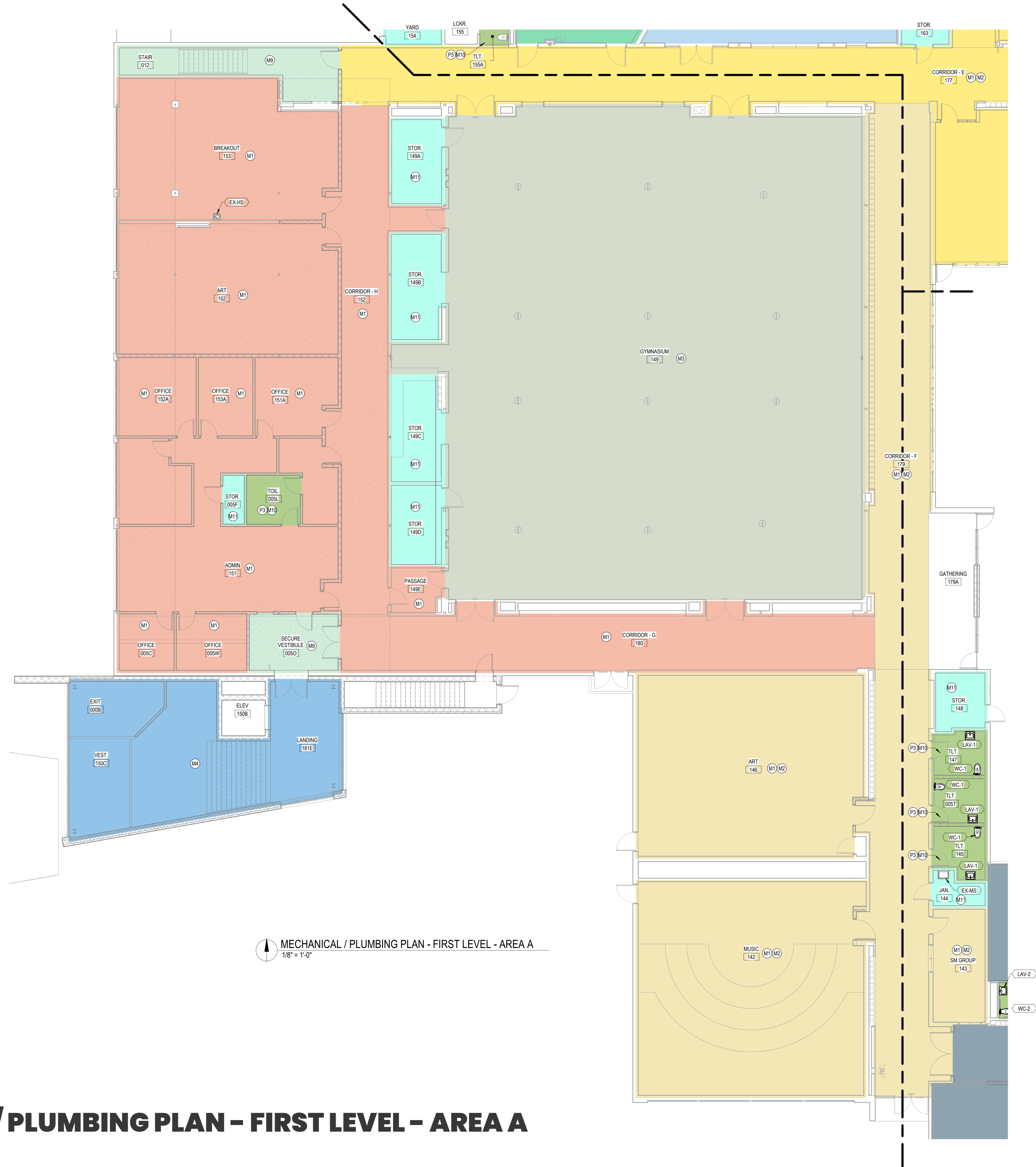
MECHANICAL / PLUMBING PLAN - FIRST LEVEL - OVERALL
1" = 20'-0"

SD - MECHANICAL / PLUMBING PLAN - FIRST LEVEL

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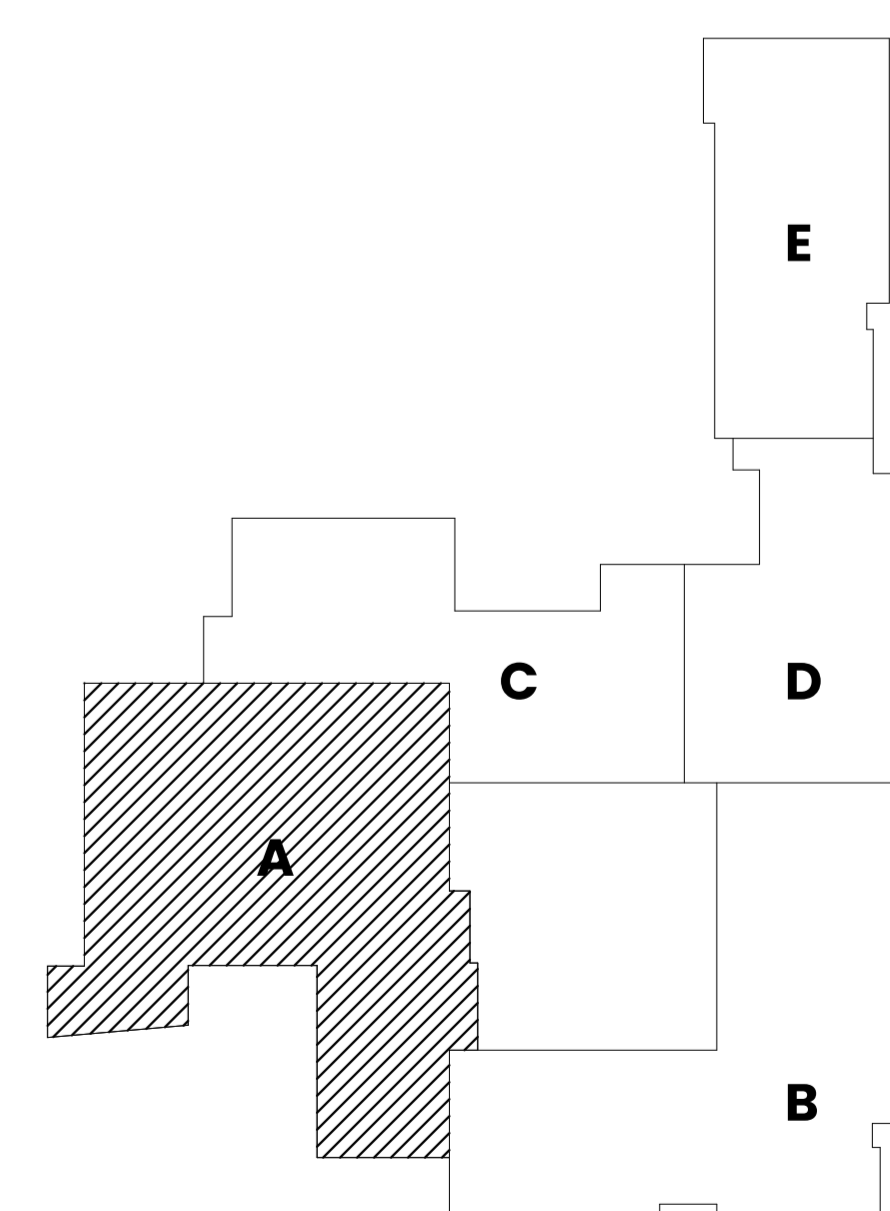
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- MECHANICAL KEYNOTES:**
- (M1) RTU ZONES (CLASSROOM RENOVATION - OPTION 1): PROVIDE 15 MBH OF HYDRONIC RADIANT PANELS AT EXTERIOR WALLS SERVED FROM NEW HYDRONIC PIPING SYSTEM. RUNTAL R-5 BASIS OF DESIGN. PROVIDE A MULTI-ZONE 8,000 CFM, CHILLED WATER COOLING ONLY MULTI-ZONE ROOF TOP UNIT WITH DISTRIBUTION SUPPLY RETURN DUCTWORK INTO THE SPACE. PROVIDE A 20\"/>
 - (M2) CLASSROOM RENOVATION - VUM (OPTION 2): IN LIEU OF OPTION 1, PROVIDE A 4-PIPE VERTICAL UNIT VENTILATOR, CHILLED WATER COOLING, HOT WATER HEATING, WITH DISTRIBUTION SUPPLY/RETURN DUCTWORK INTO THE SPACE. CHANGEAIR FRESHMAN 8-CABINET, POWERED RELIEF, 10\"/>
 - (M3) GYMNASIUM RENOVATION: PROVIDE (2) NEW SUSPENDED 4-PIPE AIR HANDLING UNITS, APPROX. 5500 CFM EACH, 250 MBH CHILLED WATER COILS, 250 MBH HOT WATER COILS, EXPOSED SUPPLY DUCTWORK WITH DUCT-MOUNTED HIGH THROW DIFFUSERS, RETURN AIR DUCTWORK DOWN WALL CHASE TO LOW RETURN GRILLES.
 - (M4) SECURED VESTIBULE ADDITION: PROVIDE 40 MBH OF HYDRONIC RADIANT PANELS SERVED FROM THE NEW HYDRONIC HOT WATER HEATING SYSTEM TO COVER THE NEW SECURED VESTIBULE. APPROXIMATELY 40\"/>
 - (M5) KITCHEN / SERVERY AREA: EXISTING ROOF-MOUNTED MAKEUP AIR UNIT AND EXHAUST FAN SYSTEM SERVING KITCHEN AREA TO REMAIN. EXISTING ROOF-MOUNTED CONDENSING UNITS SERVING WALK-IN COOLER AND FREEZER TO REMAIN.
 - (M6) CAFETERIA & GUIDE PLANNING AREA: EXISTING ROOFTOP UNIT SERVING CAFETERIA AREA TO REMAIN.
 - (M7) BOILER ROOM RENOVATION: PROVIDE (3) NEW 2500 MBH NG-FIRED CONDENSING BOILERS N-1 REDUNDANCY CONFIGURATION, VISSMANN VITOCROSSAL 300 CABIS BASIS OF DESIGN. PROVIDE (2) NEW BASE-MOUNTED END-SUCTION PUMPS 150 GPM EACH, BELL & GOSSETT SERIES E-1510 BASIS OF DESIGN. 4\"/>
 - (M8) NEW AIR-COOLED CHILLER: PROVIDE A NEW 300 TON AIR-COOLED SCREW CHILLER, 30% PROPYLENE GLYCOL FLUID, R-513A REFRIGERANT, TRANE AC3000 MODEL BASIS OF DESIGN. PROVIDE (2) NEW BASE-MOUNTED END-SUCTION PUMPS 285 GPM EACH, BELL & GOSSETT SERIES E-1510 BASIS OF DESIGN. INSTALL 5\"/>
 - (M9) EXTERIOR STAIRWELLS AND VESTIBULES: PROVIDE A 25 MBH CABINET UNIT HEATER SERVED FROM THE NEW HYDRONIC HOT WATER HEATING SYSTEM TO COVER THE ENVELOPE HEAT LOSS OF SPACE. ONE WALL MOUNTED THERMOSTAT, AND APPROXIMATELY TOTAL 100' OF 3/4\"/>
 - (M10) TOILET ROOM RENOVATION: PROVIDE NEW EXHAUST FAN FOR SPACES SHOWN, 70 CFM PER WATER CLOSET OR URINAL. COMBINE EXHAUST NEEDS FOR MULTIPLE SPACES INTO ONE EXHAUST FAN WHERE APPROPRIATE.
 - (M11) UNOCCUPIED STORAGE ROOMS & JANITOR CLOSETS: PROVIDE 50 CFM OF EXHAUST AIR FOR JANITOR CLOSETS, PROVIDE EXHAUST GRILLES, COMBINE TO NEARBY EXHAUST FAN SYSTEM OR INSTALL INDIVIDUAL CEILING MOUNTED FAN PER SPACE.
 - (M12) LOWER LEVEL LEARNING AREA RENOVATION: PROVIDE NEW 4-PIPE BLOWER COIL UNIT OR SUSPENDED HORIZONTAL UNIT VENTILATOR, APPROX. 4000 CFM, CHILLED WATER & HEATING HOT WATER COILS.
 - (M13) TUNNEL RENOVATION: INSTALL ALL NEW 4\"/>

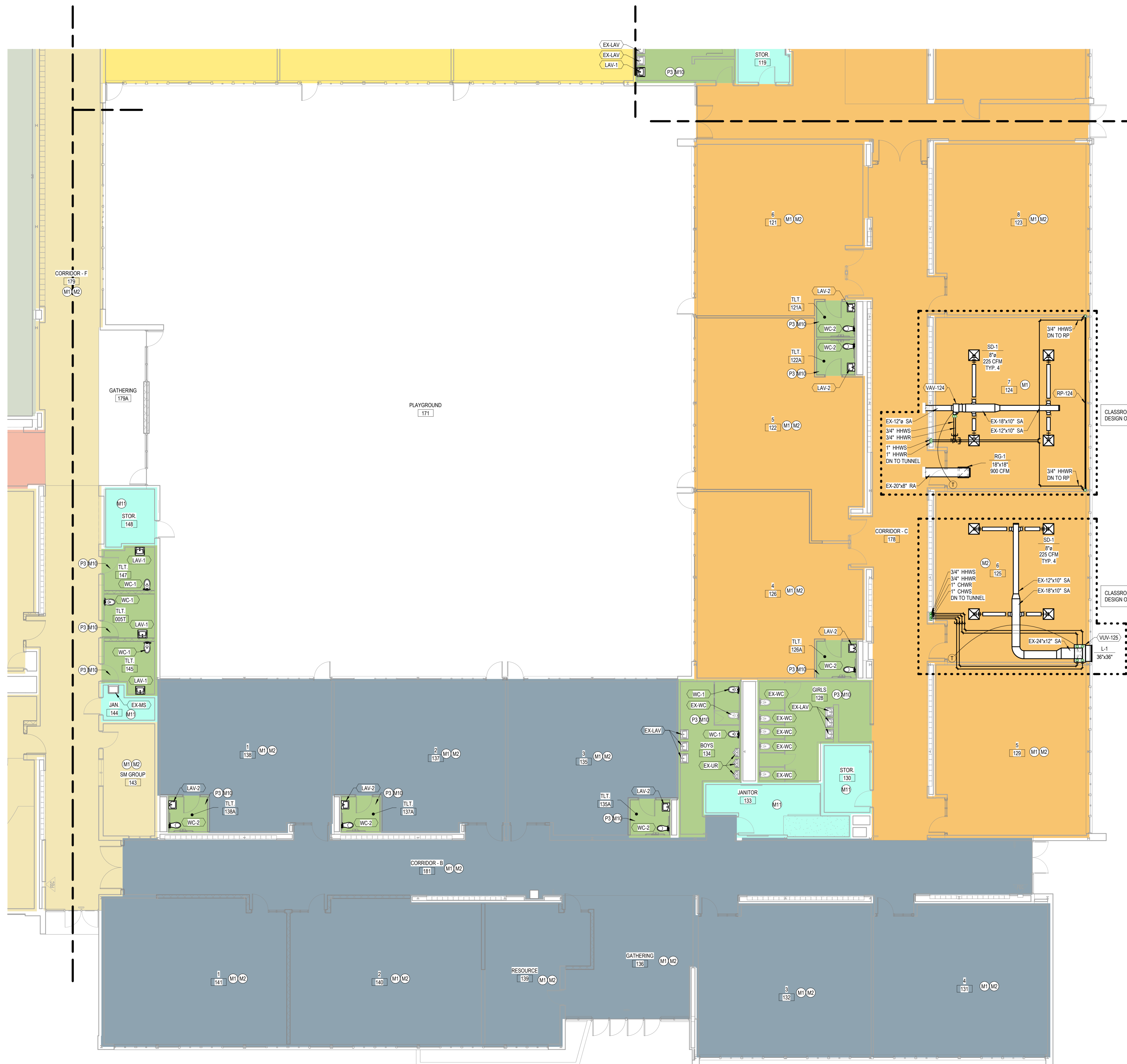
- PLUMBING / FIRE PROTECTION KEYNOTES:**
- (P1) ALL NEW 6\"/>
 - (P2) ALL NEW FIRE PROTECTION MAINS WILL BE ROUTED THROUGH TUNNEL AND WILL PENETRATE THE FLOOR TO SERVE THE MAIN LEVEL WHERE REQUIRED.
 - (P3) TOILET ROOM RENOVATION: PROVIDE NEW WATER CLOSETS AND LAVATORIES AS SHOWN. INSTALL 1/2\"/>
 - (P4) BOILER ROOM RENOVATION: PROVIDE A NEW 199 MBH GAS WATER HEATER AND DOMESTIC WATER CIRCULATION PUMP.
 - (P5) TUNNEL RENOVATION: INSTALL NEW 3\"/>



SD - MECHANICAL / PLUMBING PLAN - FIRST LEVEL - AREA A

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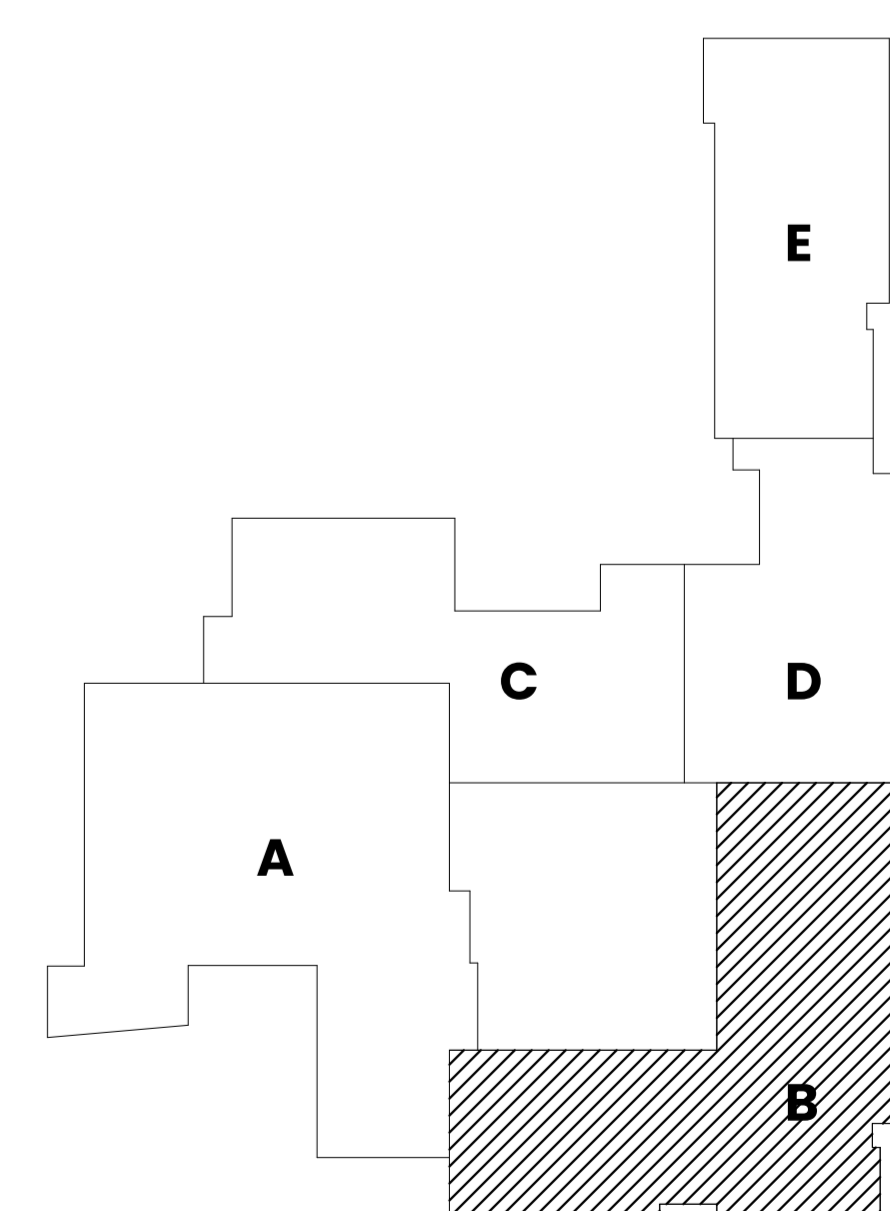




- MECHANICAL KEYNOTES:**
- M1 RTU ZONES (CLASSROOM RENOVATION - OPTION 1): PROVIDE 15 MBH OF HYDRONIC RADIANT PANELS AT EXTERIOR WALLS SERVED FROM NEW HYDRONIC PIPING SYSTEM. RUNTAL R-5 BASIS OF DESIGN. PROVIDE A MULTI-ZONE 8,000 CFM, CHILLED WATER COOLING ONLY MULTI-ZONE ROOF TOP UNIT WITH DISTRIBUTION SUPPLY/RETURN DUCTWORK INTO THE SPACE. PROVIDE A 220 MBH DUCT-MOUNTED HOT WATER HEATING COIL, 457°F EAT/LAT. IN THE SUPPLY DUCT DOWNSTREAM OF THE RTU. PROVIDE A VAV BOX WITH A HOT WATER REHEAT COIL, 70/95°F EAT/LAT. FOR EACH INDIVIDUAL SPACE SERVED. PROVIDE 1 CFMSF FOR CLASSROOMS, RESOURCE ROOMS, AND OTHER STUDY ROOMS. 0.33 CFMSF FOR CORRIDORS. HOT WATER SUPPLY AND RETURN PIPING BRANCHES ROUTED TO MAINS IN TUNNEL, INSULATED AND LABELED.
 - M2 CLASSROOM RENOVATION - VAV (OPTION 2): IN LIEU OF OPTION 1, PROVIDE A 4-PIPE VERTICAL UNIT VENTILATOR, CHILLED WATER COOLING, HOT WATER HEATING, WITH DISTRIBUTION SUPPLY/RETURN DUCTWORK INTO THE SPACE. CHANGE GEAR FRESHMAN B-CABINET, POWERED RELIEF, 10 SOUND. BASIS OF DESIGN: PROVIDE 1 CFMSF FOR CLASSROOMS, RESOURCE ROOMS, AND OTHER STUDY ROOMS. 0.33 CFMSF FOR CORRIDORS. COMBINE MULTIPLE SPACES INTO ONE ZONE AS NECESSARY. HYDRONIC HOT WATER SUPPLY AND RETURN PIPING BRANCHES ROUTED TO MAINS IN TUNNEL, INSULATED AND LABELED.
 - M3 GYMNASIUM RENOVATION: PROVIDE (2) NEW SUSPENDED 4-PIPE AIR HANDLING UNITS, APPROX. 5500 CFM EACH, 280 MBH CHILLED WATER COILS, 250 MBH HOT WATER COILS, EXPOSED SUPPLY DUCTWORK WITH DUCT-MOUNTED HIGH THROW DIFFUSERS, RETURN AIR DUCTWORK DOWN WALL CHASE TO LOW RETURN GRILLES.
 - M4 SECURED VESTIBULE ADDITION: PROVIDE 40 MBH OF HYDRONIC RADIANT PANELS SERVED FROM THE NEW HYDRONIC HOT WATER HEATING SYSTEM TO COVER THE NEW SECURE VESTIBULE. APPROXIMATELY 40 LINEAL FEET OF RUNTAL RADIANT PANEL, ONE WALL MOUNTED THERMOSTAT, AND APPROXIMATELY TOTAL 100' OF 1" HEATING HOT WATER SUPPLY AND RETURN PIPING, INSULATED AND LABELED.
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 - M6 CAFETERIA & GUIDE PLANNING AREA: EXISTING ROOF TOP UNIT SERVING CAFETERIA AREA TO REMAIN.
 - M7 BOILER ROOM RENOVATION: PROVIDE (3) NEW 2500 MBH NG-FIRED CONDENSING BOILERS N-1 REDUNDANCY CONFIGURATION, VISSMANN VITOCROSSAL 300 C438 BASIS OF DESIGN. PROVIDE (2) NEW BASE MOUNTED EXHAUSTION PUMPS 150 GPM EACH, BELL & GOSSETT SERIES E-1510 BASIS OF DESIGN. 4" HEATING HOT WATER SUPPLY & RETURN MAINS IN THE TUNNEL FROM BOILER ROOM TO HEATING COILS AND PERIMETER HEAT WITHIN THE BUILDING.
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 - M11 UNOCCUPIED STORAGE ROOMS & JANITOR CLOSETS: PROVIDE 50 CFM OF EXHAUST AIR FOR JANITOR CLOSETS, PROVIDE EXHAUST GRILLE, COMBINE TO NEARBY EXHAUST FAN SYSTEM OR INSTALL INDIVIDUAL CEILING MOUNTED FAN PER SPACE.
 - M12 LOWER LEVEL LEARNING AREA RENOVATION: PROVIDE NEW 4-PIPE BLOWER COIL UNIT OR SUSPENDED HORIZONTAL UNIT VENTILATOR, APPROX. 4000 CFM, CHILLED WATER & HEATING HOT WATER COILS.
 - M13 TUNNEL RENOVATION: INSTALL ALL NEW 4" HEATING HOT WATER SUPPLY & RETURN MAINS AND 5" CHILLED WATER SUPPLY & RETURN MAINS IN THE TUNNEL FROM BOILER ROOM.

- PLUMBING / FIRE PROTECTION KEYNOTES:**
- P1 ALL NEW 6" FIRE SERVICE INTO BOILER ROOM AND 6" DUAL CHECK DETECTOR.
 - P2 ALL NEW FIRE PROTECTION MAINS WILL BE ROUTED THROUGH TUNNEL AND WILL PENETRATE THE FLOOR TO SERVE THE MAIN LEVEL WHERE REQUIRED.
 - P3 TOILET ROOM RENOVATION: PROVIDE NEW WATER CLOSETS AND LAVATORIES AS SHOWN. INSTALL 1/2" CW PIPING WITH BALANCING VALVE TO LAVATORIES AND WATER CLOSETS. 1/2" HW PIPING WITH BALANCING VALVE TO LAVATORIES. ALL NEW SANITARY WASTE AND VENT PIPING INSTALLED FOR ALL NEW FIXTURES.
 - P4 BOILER ROOM RENOVATION: PROVIDE A NEW 199 MBH GAS WATER HEATER AND DOMESTIC WATER CIRCULATION PUMP.
 - P5 TUNNEL RENOVATION: INSTALL NEW 3" DOMESTIC COLD WATER AND 2 1/2" HW MAINS IN TUNNEL TO FEED PLUMBING FIXTURES THROUGHOUT THE BUILDING.

MECHANICAL / PLUMBING PLAN - FIRST LEVEL - AREA B
1/8" = 1'-0"



SD - MECHANICAL / PLUMBING PLAN - FIRST LEVEL - AREA B

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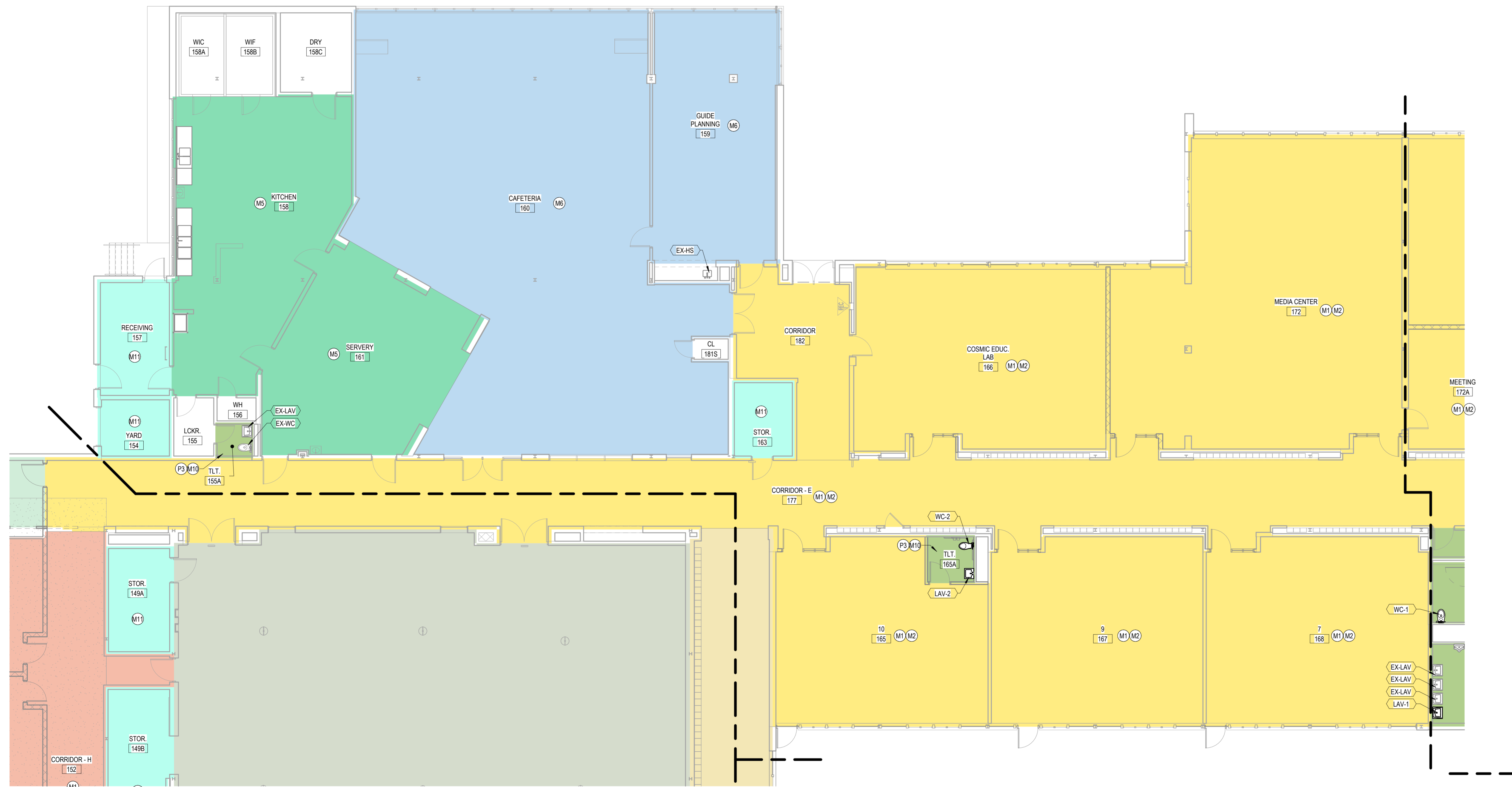


MECHANICAL KEYNOTES:

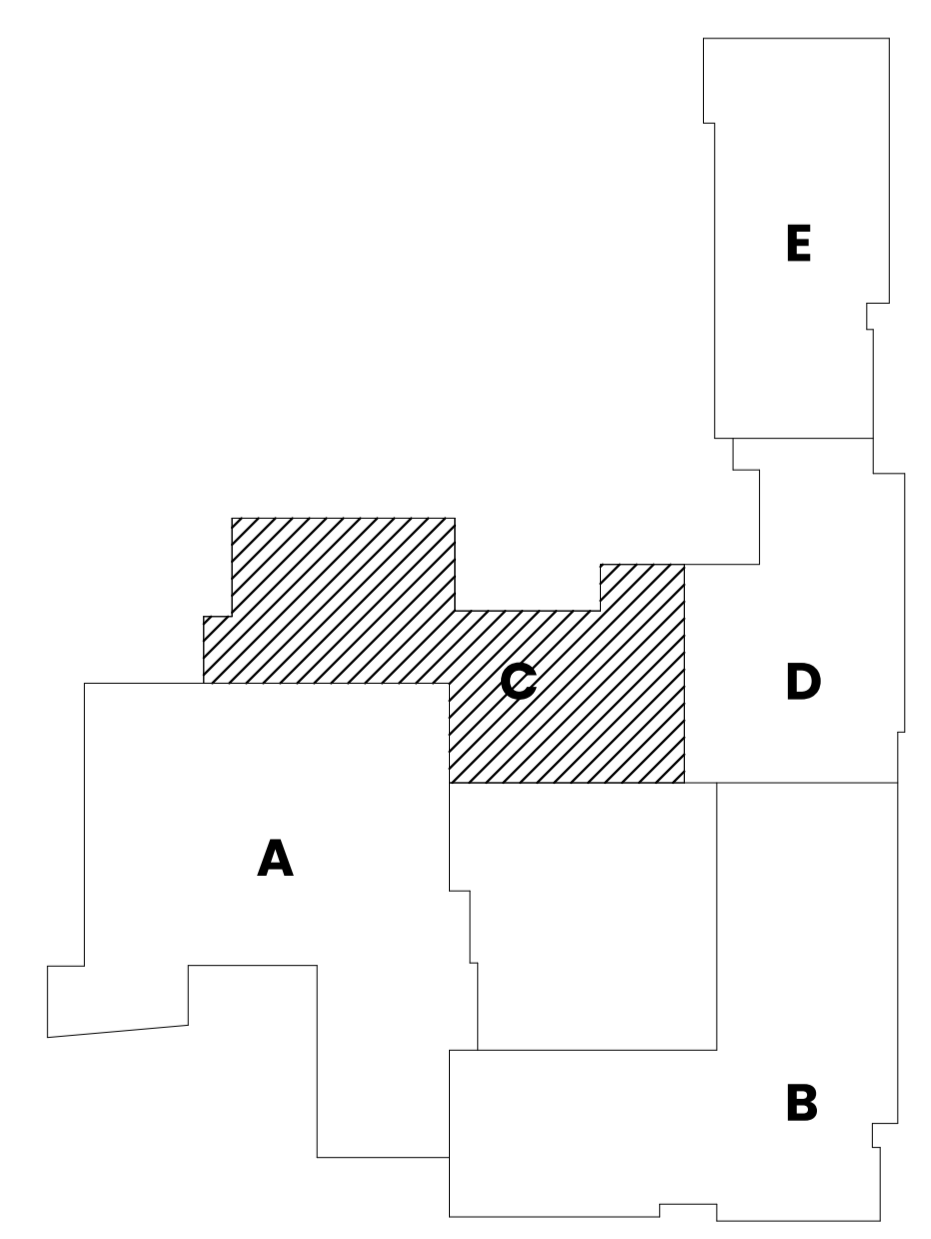
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PLUMBING / FIRE PROTECTION KEYNOTES:

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MECHANICAL / PLUMBING PLAN - FIRST LEVEL - AREA C
1/8" = 1'-0"

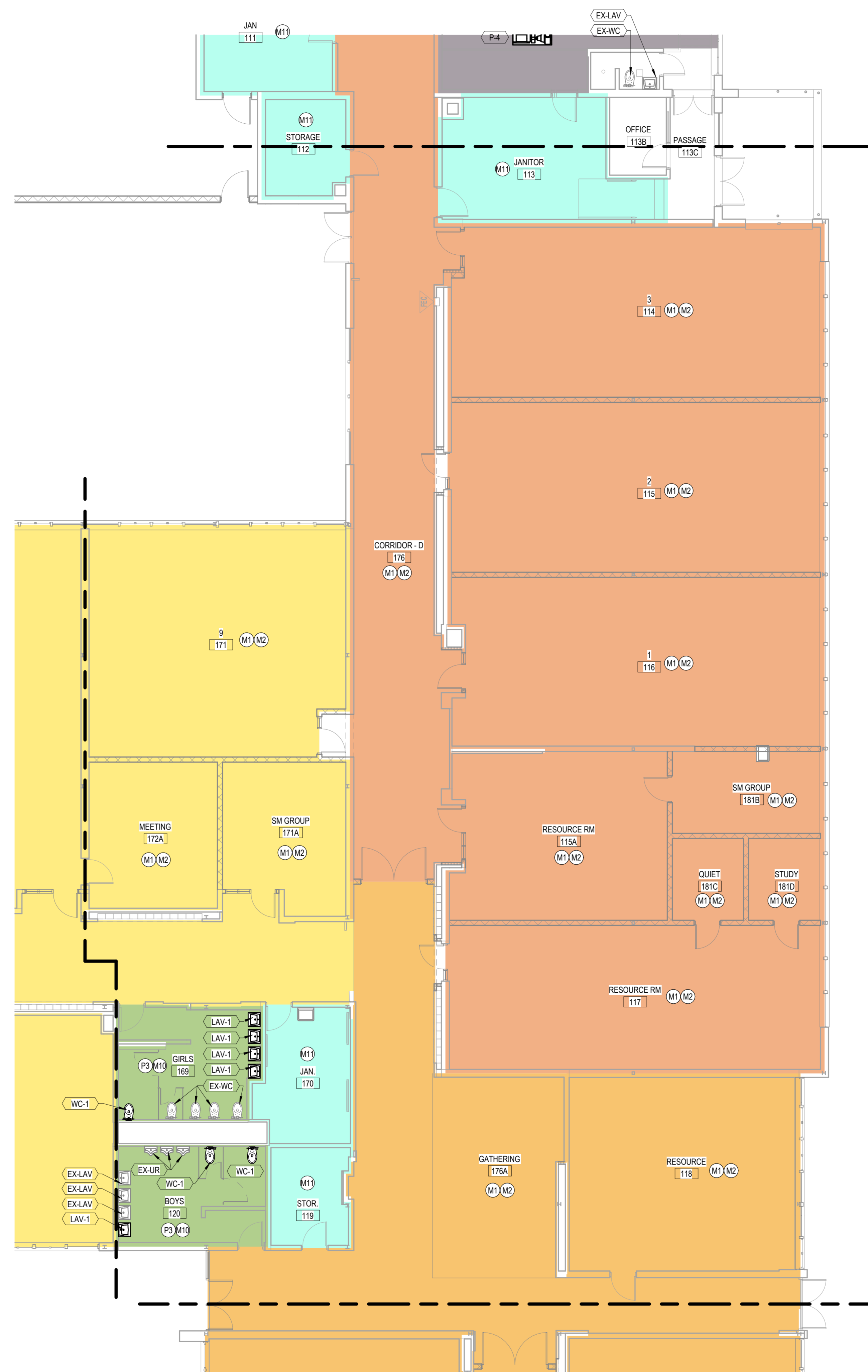


SD - MECHANICAL / PLUMBING PLAN - FIRST LEVEL - AREA C

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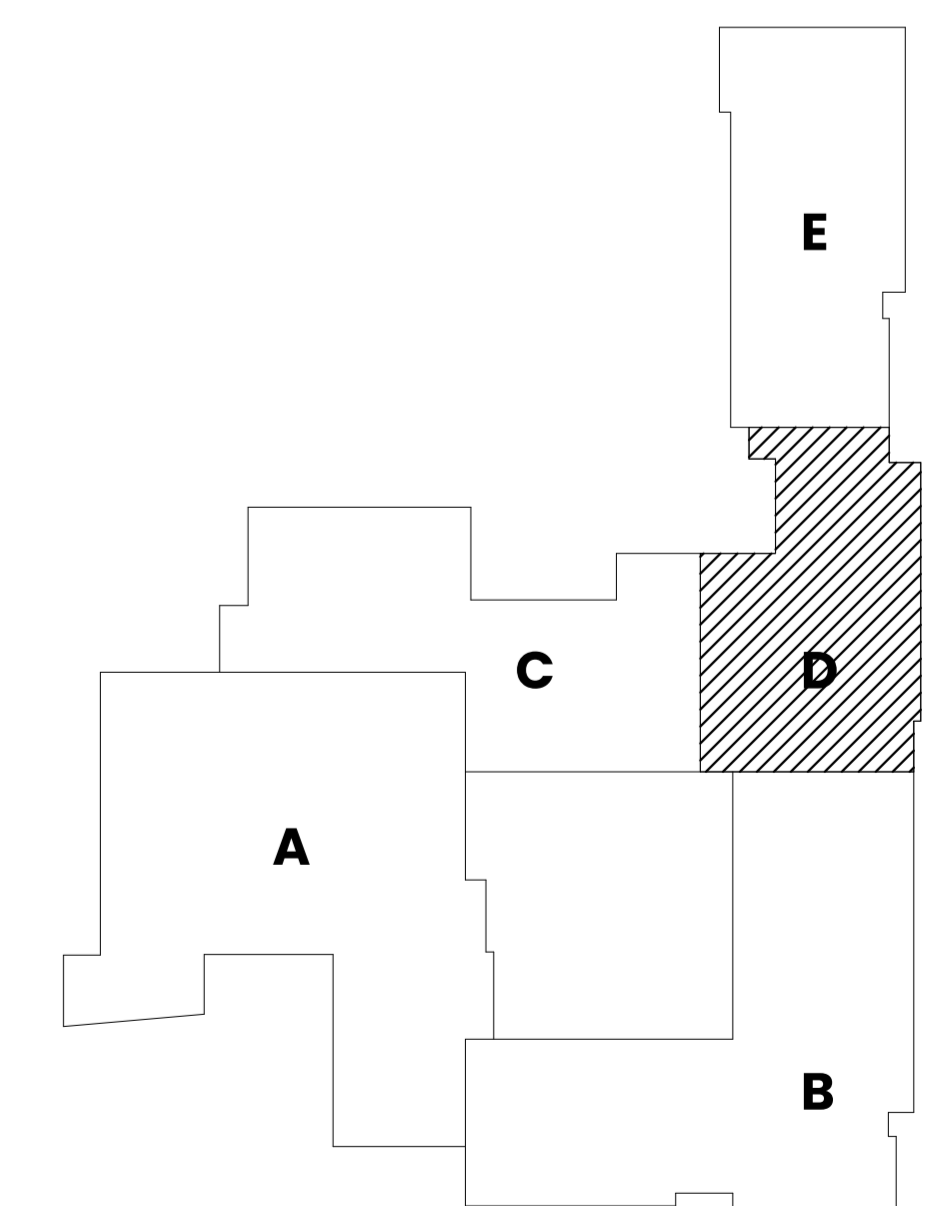
MECHANICAL / PLUMBING PLAN - FIRST LEVEL - AREA D
1/8" = 1'-0"

MECHANICAL KEYNOTES:

- (M1) RTU ZONES (CLASSROOM RENOVATION - OPTION 1): PROVIDE 15 MBH OF HYDRONIC RADIANT PANELS AT EXTERIOR WALLS SERVED FROM NEW HYDRONIC PIPING SYSTEM. RUN/AL R-5 BASIS OF DESIGN. PROVIDE A MULTI-ZONE 8,000 CFM, CHILLED WATER COOLING ONLY MULTI-ZONE ROOF TOP UNIT WITH DISTRIBUTION SUPPLY/RETURN DUCTWORK INTO THE SPACE. PROVIDE A 220 MBH DUCT-MOUNTED HOT WATER HEATING COIL, 45/70°F EAT/LAT, IN THE SUPPLY DUCT DOWNSTREAM OF THE RTU. PROVIDE A VAV BOX WITH A HOT WATER REHEAT COIL, 70/95°F EAT/LAT, FOR EACH INDIVIDUAL SPACE SERVED. PROVIDE 1 CFMSF FOR CLASSROOMS, RESOURCE ROOMS, AND OTHER STUDY ROOMS. 0.33 CFMSF FOR CORRIDORS. HOT WATER SUPPLY AND RETURN PIPING BRANCHES ROUTED TO MAINS IN TUNNEL, INSULATED AND LABELED.
- (M2) CLASSROOM RENOVATION - VAV (OPTION 2): IN LIEU OF OPTION 1, PROVIDE A 4-PIPE VERTICAL UNIT VENTILATOR, CHILLED WATER COOLING, HOT WATER HEATING, WITH DISTRIBUTION SUPPLY/RETURN DUCTWORK INTO THE SPACE. CHANGE/REAR FRESHMAN B-CABINET, POWERED RELIEF, 20 SCQ/IN. BASIS OF DESIGN. PROVIDE 1 CFMSF FOR CLASSROOMS, RESOURCE ROOMS, AND OTHER STUDY ROOMS. 0.33 CFMSF FOR CORRIDORS. COMBINE MULTIPLE SPACES INTO ONE ZONE AS NECESSARY. HYDRONIC HOT WATER SUPPLY AND RETURN PIPING BRANCHES ROUTED TO MAINS IN TUNNEL, INSULATED AND LABELED.
- (M3) GYMNASIUM RENOVATION: PROVIDE (2) NEW SUSPENDED 4-PIPE AIR HANDLING UNITS, APPROX. 5500 CFM EACH, 250 MBH CHILLED WATER COILS, 250 MBH HOT WATER COILS. EXPOSED SUPPLY DUCTWORK WITH DUCT-MOUNTED HIGH THROW DIFFUSERS, RETURN AIR DUCTWORK DOWN WALL CHASE TO LOW RETURN GRILLES.
- (M4) SECURED VESTIBULE ADDITION: PROVIDE 40 MBH OF HYDRONIC RADIANT PANELS SERVED FROM THE NEW HYDRONIC HOT WATER HEATING SYSTEM TO COVER THE NEW SECURED VESTIBULE. APPROXIMATELY 40 LINEAL FEET OF RADIANT PANEL, ONE WALL MOUNTED THERMOSTAT, AND APPROXIMATELY TOTAL 100' OF 1" HEATING HOT WATER SUPPLY AND RETURN PIPING, INSULATED AND LABELED.
- (M5) KITCHEN / SERVERY AREA: EXISTING ROOF-MOUNTED MAKEUP AIR UNIT AND EXHAUST FAN SYSTEM SERVING KITCHEN AREA TO REMAIN. EXISTING ROOF-MOUNTED CONDENSING UNITS SERVING WALK-IN COOLER AND FREEZER TO REMAIN.
- (M6) CAFETERIA & GUIDE PLANNING AREA: EXISTING ROOFTOP UNIT SERVING CAFETERIA AREA TO REMAIN.
- (M7) BOILER ROOM RENOVATION: PROVIDE (3) NEW 2500 MBH NG-FIRED CONDENSING BOILERS N+1 REDUNDANCY CONFIGURATION, VISSMANN VITOCROSSAL 300 CABR BASIS OF DESIGN. PROVIDE (2) NEW BASE-MOUNTED END-SUCTION PUMPS 150 GPM EACH, BELL & GOSSETT SERIES E-1510 BASIS OF DESIGN. 4" HEATING HOT WATER SUPPLY & RETURN MAINS TO RUN IN THE TUNNEL FROM BOILER ROOM TO HEATING COILS AND PERIMETER HEAT WITHIN THE BUILDING.
- (M8) NEW AIR-COOLED CHILLER: PROVIDE A NEW 300 TON AIR-COOLED SCREW CHILLER, 30% PROPYLENE GLYCOL FLUID, R-513A REFRIGERANT, TRANE AC9000 MODEL BASIS OF DESIGN. PROVIDE (2) NEW BASE-MOUNTED END-SUCTION PUMPS 285 GPM EACH, BELL & GOSSETT SERIES E-1510 BASIS OF DESIGN. INSTALL 5" CHILLED WATER SUPPLY & RETURN MAINS IN THE TUNNEL FROM BOILER ROOM, DISTRIBUTED TO CHILLED WATER COILS WITHIN THE BUILDING AND ON ROOF.
- (M9) EXTERIOR STAIRWELLS AND VESTIBULES: PROVIDE A 25 MBH CABINET UNIT HEATER SERVED FROM THE NEW HYDRONIC HOT WATER HEATING SYSTEM TO COVER THE ENVELOPE HEAT LOSS OF SPACE. ONE WALL MOUNTED THERMOSTAT, AND APPROXIMATELY TOTAL 100' OF 3/4" HEATING HOT WATER SUPPLY AND RETURN PIPING, INSULATED AND LABELED.
- (M10) TOILET ROOM RENOVATION: PROVIDE NEW EXHAUST FAN FOR SPACES SHOWN, 70 CFM PER WATER CLOSET OR URINAL, COMBINE EXHAUST NEEDS FOR MULTIPLE SPACES INTO ONE EXHAUST FAN WHERE APPROPRIATE.
- (M11) UNOCCUPIED STORAGE ROOMS & JANITOR CLOSETS: PROVIDE 50 CFM OF EXHAUST AIR FOR JANITOR CLOSETS, PROVIDE EXHAUST GRILLE, COMBINE TO NEARBY EXHAUST FAN SYSTEM OR INSTALL INDIVIDUAL CEILING MOUNTED FAN PER SPACE.
- (M12) LOWER LEVEL LEARNING AREA RENOVATION: PROVIDE NEW 4-PIPE BLOWER COIL UNIT OR SUSPENDED HORIZONTAL UNIT VENTILATOR, APPROX. 4000 CFM, CHILLED WATER & HEATING HOT WATER COILS.
- (M13) TUNNEL RENOVATION: INSTALL ALL NEW 4" HEATING HOT WATER SUPPLY & RETURN MAINS AND 5" CHILLED WATER SUPPLY & RETURN MAINS IN THE TUNNEL FROM BOILER ROOM.

PLUMBING / FIRE PROTECTION KEYNOTES:

- (P1) ALL NEW 6" FIRE SERVICE INTO BOILER ROOM AND 6" DUAL CHECK DETECTOR.
- (P2) ALL NEW FIRE PROTECTION MAINS WILL BE ROUTED THROUGH TUNNEL AND WILL PENETRATE THE FLOOR TO SERVE THE MAIN LEVEL WHERE REQUIRED.
- (P3) TOILET ROOM RENOVATION: PROVIDE NEW WATER CLOSETS AND LAVATORIES AS SHOWN. INSTALL 1/2" CW PIPING WITH BALANCING VALVE TO LAVATORIES AND WATER CLOSETS, 1/2" HW PIPING WITH BALANCING VALVE TO LAVATORIES. ALL NEW SANITARY WASTE AND VENT PIPING INSTALLED FOR ALL NEW FIXTURES.
- (P4) BOILER ROOM RENOVATION: PROVIDE A NEW 199 MBH GAS WATER HEATER AND DOMESTIC WATER CIRCULATION PUMP.
- (P5) TUNNEL RENOVATION: INSTALL NEW 3" DOMESTIC COLD WATER AND 2 1/2" HW MAINS IN TUNNEL TO FEED PLUMBING FIXTURES THROUGHOUT THE BUILDING.

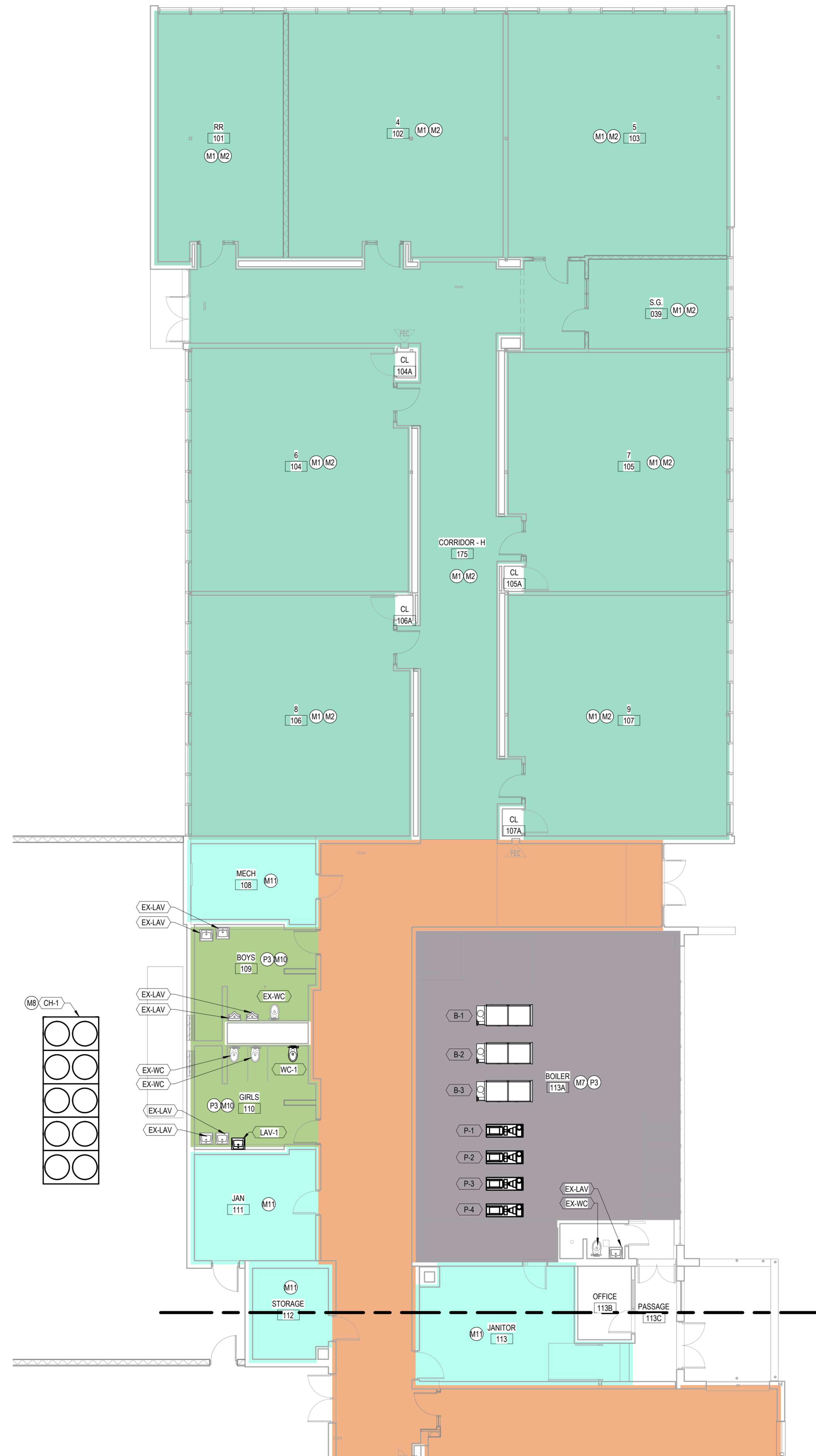


SD - MECHANICAL / PLUMBING PLAN - FIRST LEVEL - AREA D

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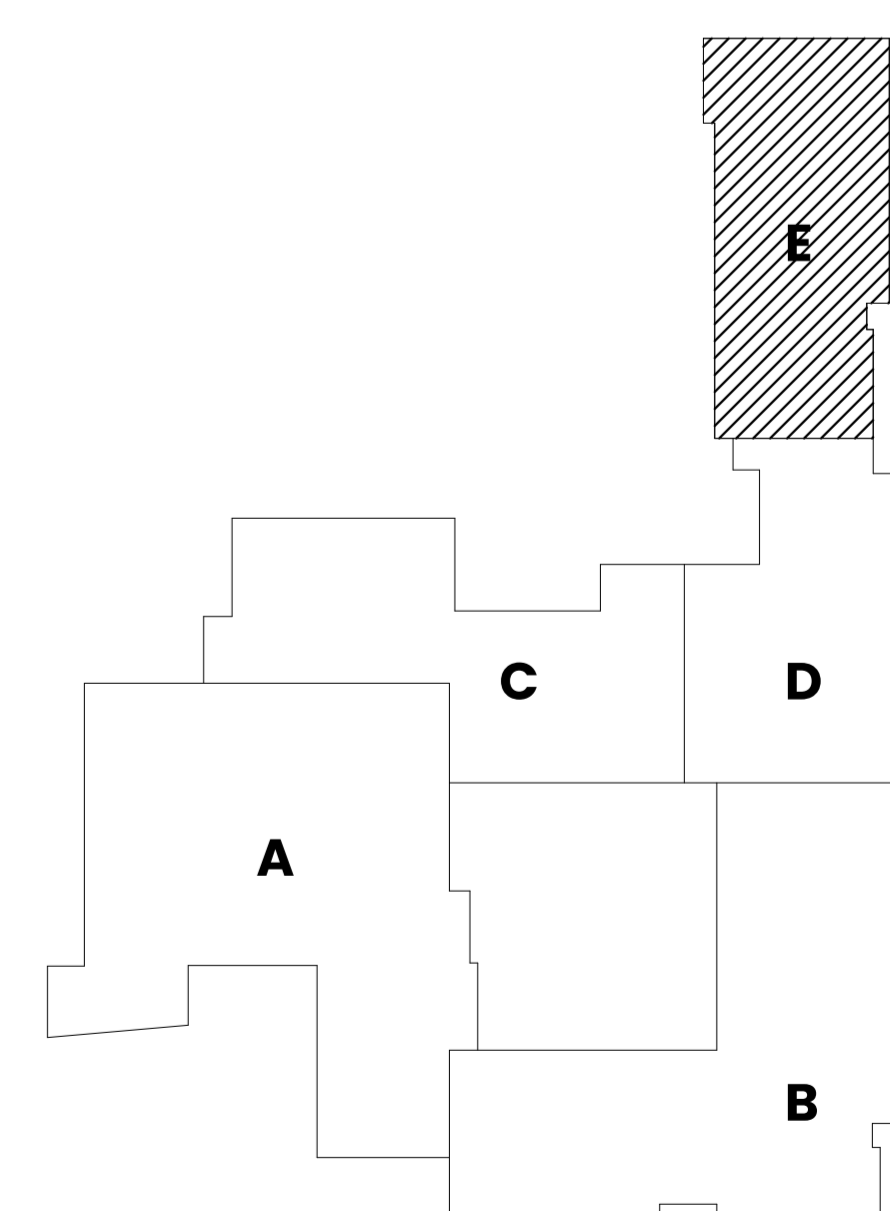
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- MECHANICAL KEYNOTES:**
- (M1) RTU ZONES (CLASSROOM RENOVATION - OPTION 1): PROVIDE 16 MBH OF HYDRONIC RADIANT PANELS AT EXTERIOR WALLS SERVED FROM NEW HYDRONIC PIPING SYSTEM. RUMINAL P-5 BASIS OF DESIGN. PROVIDE A MULTI-ZONE 8,000 CFM, CHILLED WATER COOLING ONLY MULTI-ZONE ROOF TOP UNIT WITH DISTRIBUTION SUPPLY/RETURN DUCTWORK INTO THE SPACE. PROVIDE A 220 MBH DUCT-MOUNTED HOT WATER HEATING COIL, 4500°F EAT/LAT. IN THE SUPPLY DUCT DOWNSTREAM OF THE RTU. PROVIDE A VAV BOX WITH A HOT WATER REHEAT COIL, 7095°F EAT/LAT. FOR EACH INDIVIDUAL SPACE SERVED. PROVIDE 1 CFMSF FOR CLASSROOMS, RESOURCE ROOMS, AND OTHER STUDY ROOMS, 0.33 CFMSF FOR CORRIDORS. HOT WATER SUPPLY AND RETURN PIPING BRANCHES ROUTED TO MAINS IN TUNNEL, INSULATED AND LABELED.
 - (M2) CLASSROOM RENOVATION - VAV (OPTION 2): IN LIEU OF OPTION 1, PROVIDE A 4-PIPE VERTICAL UNIT VENTILATOR, CHILLED WATER COOLING, HOT WATER HEATING, WITH DISTRIBUTION SUPPLY/RETURN DUCTWORK INTO THE SPACE. CHANGEAIR FRESHMAN B-CABINET, POWERED RELIEF IQ SOUND. BASIS OF DESIGN. PROVIDE 1 CFMSF FOR CLASSROOMS, RESOURCE ROOMS, AND OTHER STUDY ROOMS, 0.33 CFMSF FOR CORRIDORS. COMBINE MULTIPLE SPACES INTO ONE ZONE AS NECESSARY. HYDRONIC HOT WATER SUPPLY AND RETURN PIPING BRANCHES ROUTED TO MAINS IN TUNNEL, INSULATED AND LABELED.
 - (M3) GYMNASIUM RENOVATION: PROVIDE (2) NEW SUSPENDED 4-PIPE AIR HANDLING UNITS, APPROX. 5600 CFM EACH, 250 MBH CHILLED WATER COILS, 250 MBH HOT WATER COILS. EXPOSED SUPPLY DUCTWORK WITH DUCT-MOUNTED HIGH THROW DIFFUSERS, RETURN AIR DUCTWORK DOWN WALL CHASE TO LOW RETURN GRILLES.
 - (M4) SECURED VESTIBULE ADDITION: PROVIDE 40 MBH OF HYDRONIC RADIANT PANELS SERVED FROM THE NEW HYDRONIC HOT WATER HEATING SYSTEM TO COVER THE NEW SECURE VESTIBULE. APPROXIMATELY 40 LINEAL FEET OF RADIANT PANEL, ONE WALL MOUNTED THERMOSTAT, AND APPROXIMATELY TOTAL 100' OF 1" HEATING HOT WATER SUPPLY AND RETURN PIPING, INSULATED AND LABELED.
 - (M5) KITCHEN / SERVERY AREA: EXISTING ROOF-MOUNTED MAKEUP AIR UNIT AND EXHAUST FAN SYSTEM SERVING KITCHEN AREA TO REMAIN, EXISTING ROOF-MOUNTED CONDENSING UNITS SERVING WALK-IN COOLER AND FREEZER TO REMAIN.
 - (M6) CAFETERIA & GUIDE PLANNING AREA: EXISTING ROOFTOP UNIT SERVING CAFETERIA AREA TO REMAIN.
 - (M7) BOILER ROOM RENOVATION: PROVIDE (3) NEW 2500 MBH NG-FIRED CONDENSING BOILERS N-1 REDUNDANCY CONFIGURATION, VISSMANN VITOCROSSAL 300 C438 BASIS OF DESIGN. PROVIDE (2) NEW BASE-MOUNTED END-SUCTION PUMPS 150 GPM EACH, BELL & GOSSETT SERIES E-1510 BASIS OF DESIGN. 4" HEATING HOT WATER SUPPLY & RETURN MAINS TO RUN IN THE TUNNEL FROM BOILER ROOM TO HEATING COILS AND PERIMETER HEAT WITHIN THE BUILDING.
 - (M8) NEW AIR-COOLED CHILLER: PROVIDE A NEW 300 TON AIR-COOLED SCREW CHILLER, 30% PROPYLENE GLYCOL FLUID, R-513A REFRIGERANT, TRANE AC300 MODEL BASIS OF DESIGN. PROVIDE (2) NEW BASE-MOUNTED END-SUCTION PUMPS 285 GPM EACH, BELL & GOSSETT SERIES E-1510 BASIS OF DESIGN. INSTALL 5" CHILLED WATER SUPPLY & RETURN MAINS IN THE TUNNEL FROM BOILER ROOM, DISTRIBUTED TO CHILLED WATER COILS WITHIN THE BUILDING AND ON ROOF.
 - (M9) EXTERIOR STAIRWELLS AND VESTIBULES: PROVIDE A 25 MBH CABINET UNIT HEATER SERVED FROM THE NEW HYDRONIC HOT WATER HEATING SYSTEM TO COVER THE ENVELOPE HEAT LOSS OF SPACE. ONE WALL MOUNTED THERMOSTAT, AND APPROXIMATELY TOTAL 100' OF 3/4" HEATING HOT WATER SUPPLY AND RETURN PIPING, INSULATED AND LABELED.
 - (M10) TOILET ROOM RENOVATION: PROVIDE NEW EXHAUST FAN FOR SPACES SHOWN, 70 CFM PER WATER CLOSET OR URINAL, COMBINE EXHAUST NEEDS FOR MULTIPLE SPACES INTO ONE EXHAUST FAN WHERE APPROPRIATE.
 - (M11) UNOCCUPIED STORAGE ROOMS & JANITOR CLOSETS: PROVIDE 50 CFM OF EXHAUST AIR FOR JANITOR CLOSETS, PROVIDE EXHAUST GRILLE, COMBINE TO NEARBY EXHAUST FAN SYSTEM OR INSTALL INDIVIDUAL CEILING MOUNTED FAN PER SPACE.
 - (M12) LOWER LEVEL LEARNING AREA RENOVATION: PROVIDE NEW 4-PIPE BLOWER COIL UNIT OR SUSPENDED HORIZONTAL UNIT VENTILATOR, APPROX. 4000 CFM, CHILLED WATER & HEATING HOT WATER COILS.
 - (M13) TUNNEL RENOVATION: INSTALL ALL NEW 4" HEATING HOT WATER SUPPLY & RETURN MAINS AND 5" CHILLED WATER SUPPLY & RETURN MAINS IN THE TUNNEL FROM BOILER ROOM.

- PLUMBING / FIRE PROTECTION KEYNOTES:**
- (P1) ALL NEW 6" FIRE SERVICE INTO BOILER ROOM AND 6" DUAL CHECK DETECTOR.
 - (P2) ALL NEW FIRE PROTECTION MAINS WILL BE ROUTED THROUGH TUNNEL AND WILL PENETRATE THE FLOOR TO SERVE THE MAIN LEVEL WHERE REQUIRED.
 - (P3) TOILET ROOM RENOVATION: PROVIDE NEW WATER CLOSETS AND LAVATORIES AS SHOWN, INSTALL 1/2" CW PIPING WITH BALANCING VALVE TO LAVATORIES AND WATER CLOSETS, 1/2" HW PIPING WITH BALANCING VALVE TO LAVATORIES. ALL NEW SANITARY WASTE AND VENT PIPING INSTALLED FOR ALL NEW FIXTURES.
 - (P4) BOILER ROOM RENOVATION: PROVIDE A NEW 199 MBH GAS WATER HEATER AND DOMESTIC WATER CIRCULATION PUMP.
 - (P5) TUNNEL RENOVATION: INSTALL ALL NEW 3" DOMESTIC COLD WATER AND 2 1/2" HW MAINS IN TUNNEL TO FEED PLUMBING FIXTURES THROUGHOUT THE BUILDING.

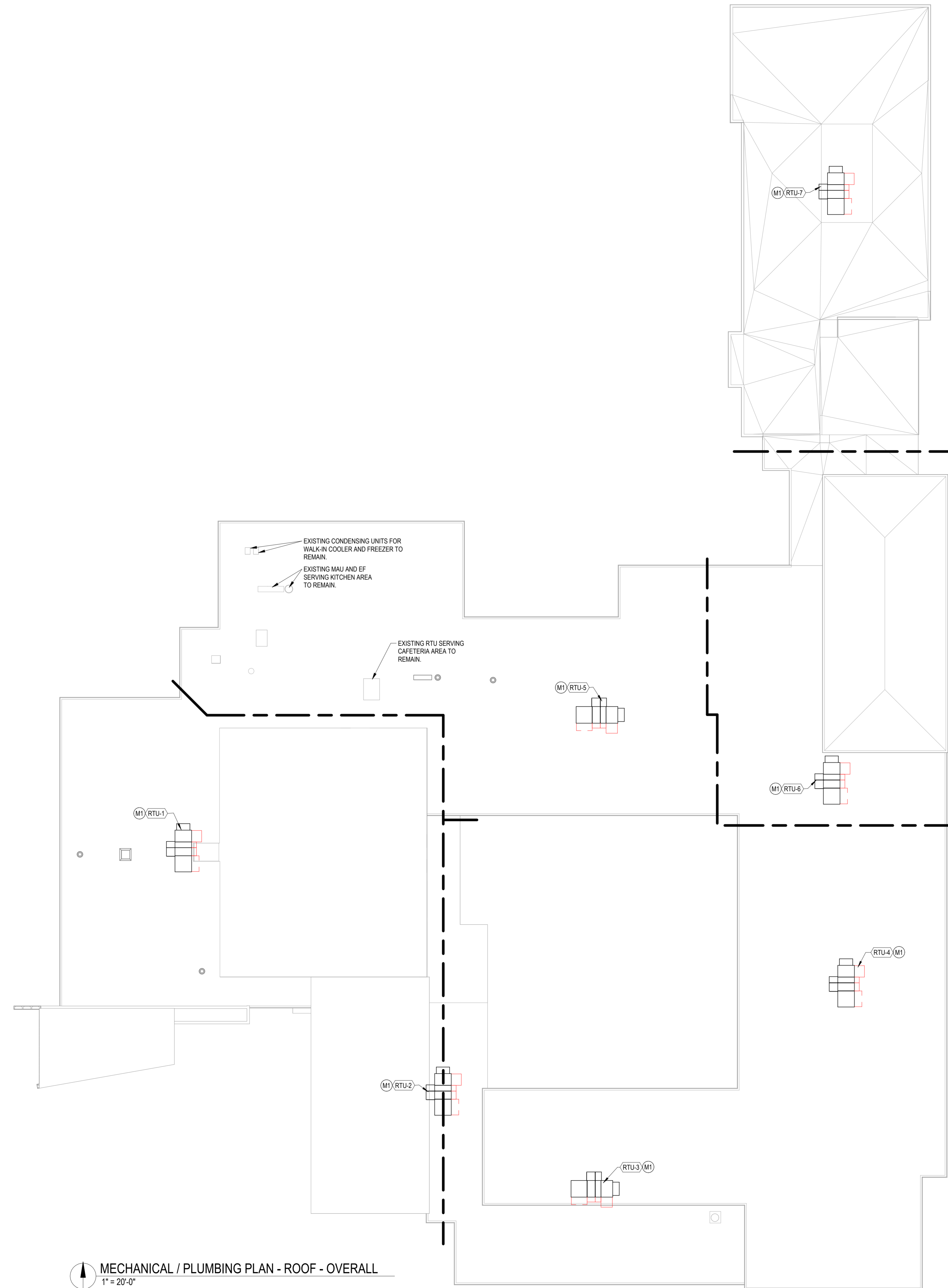


MECHANICAL / PLUMBING PLAN - FIRST LEVEL - AREA E
1/8" = 1'-0"

SD - MECHANICAL / PLUMBING PLAN - FIRST LEVEL - AREA E

GPRS RIVERSIDE MONTESSORI
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MECHANICAL ROOF KEYNOTES:

(M1) ROOFTOP UNITS: PROVIDE WITH MANUFACTURER RECOMMENDED ROOF CURB, CHILLED WATER SUPPLY AND RETURN PIPING BRANCHES ROUTED TO MAINS IN TUNNEL, INSULATED AND LABELED.

MECHANICAL / PLUMBING PLAN - ROOF - OVERALL
1" = 20'-0"

SD - MECHANICAL / PLUMBING PLAN - ROOF

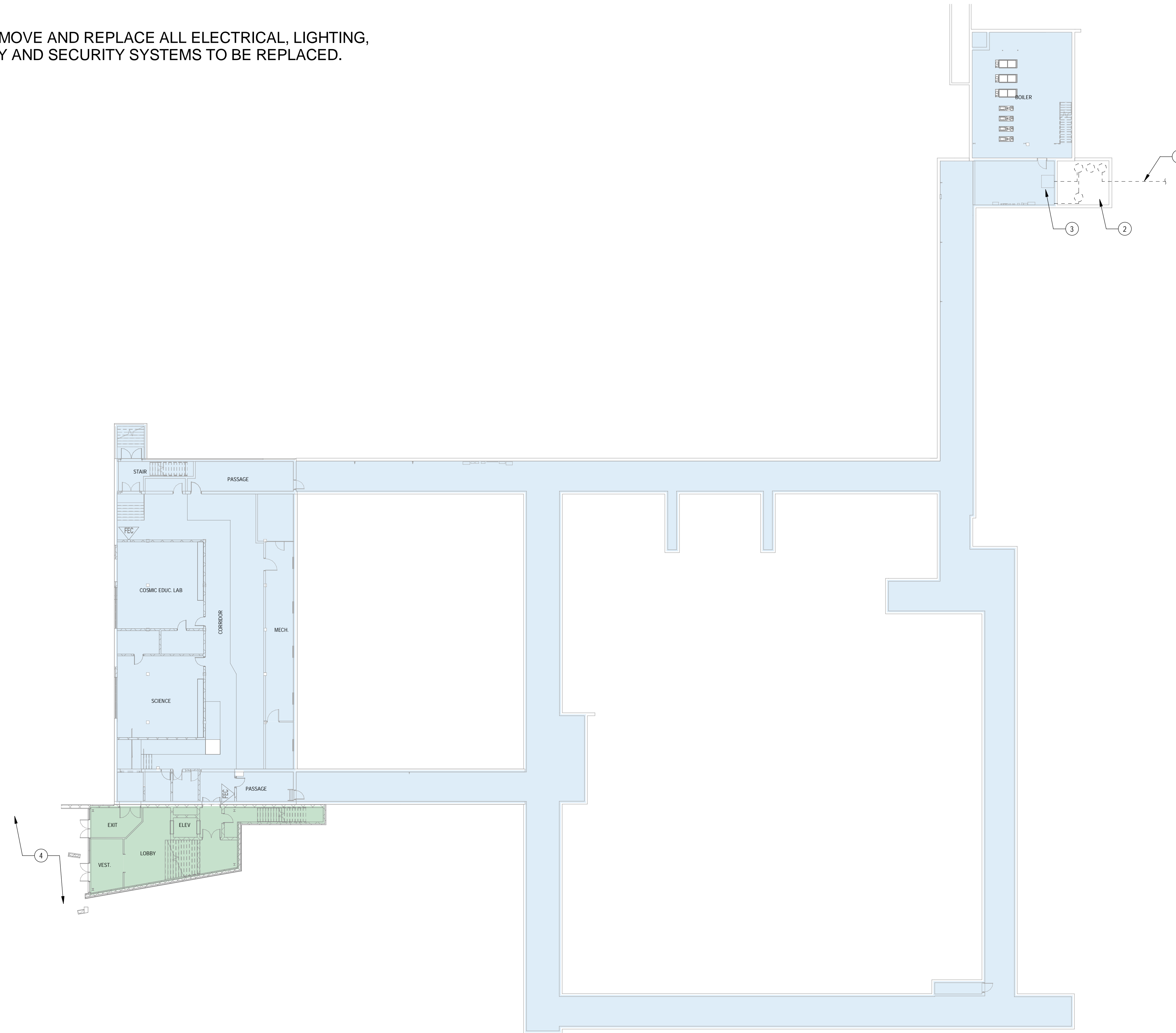
GPRS RIVERSIDE MONTESSORI

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ELECTRICAL POWER AND SYSTEMS

- NEW ADDITION - ALL NEW WORK - ELECTRICAL, LIGHTING, DATA, LIFE SAFETY AND SECURITY SYSTEMS.
- RENOVATION - MINOR ELECTRICAL WORK. REMOVE AND REPLACE, LIGHTING, DATA, LIFE SAFETY AND SECURITY SYSTEMS TO BE REPLACED.
- RENOVATION - REMOVE AND REPLACE ALL ELECTRICAL, LIGHTING, DATA, LIFE SAFETY AND SECURITY SYSTEMS TO BE REPLACED.



LOWER LEVEL ELECTRICAL SCHEMATIC PLAN
1" = 20'-0"

GENERAL DEMOLITION NOTES

- A. DEMOLITION NOTES ARE BASED UPON FIELD OBSERVATION AND EXISTING RECORD DOCUMENTS. THE ELECTRICAL CONTRACTOR SHALL VERIFY EXACT CONDITIONS AT THE SITE AND REPORT DISCREPANCIES TO THE ARCHITECT/ENGINEER BEFORE DISTURBING THE INSTALLATION.
- B. THE SCOPE OF THE REQUIRED DEMOLITION IS NOT LIMITED TO THE ITEMS OR WORK INDICATED ON THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL DETERMINE THE NATURE AND EXTENT OF WORK REQUIRED. THE CONTRACTOR ACCEPTS EXISTING SITE CONDITIONS AT THE START OF DEMOLITION.
- C. WHERE ELECTRICAL COMPONENTS ARE SHOWN TO BE REMOVED, RECONNECT REMAINING COMPONENTS TO EXISTING CIRCUIT(S) AND PROVIDE TEMPORARY CIRCUIT(S) DURING CONSTRUCTION AS REQUIRED.
- D. WHERE THE DRAWINGS SHOW DEVICES OR EQUIPMENT TO BE PERMANENTLY REMOVED, REMOVE CONDUCTORS BACK TO SOURCE, TURN CIRCUIT BREAKER OFF AND LABEL THE CIRCUIT BREAKER AS A SPARE ON A NEWLY PRINTED PANELBOARD DIRECTORY.
- E. REMOVE ALL ABANDONED CONDUIT. THE ELECTRICAL CONTRACTOR SHALL CUT CONDUIT FLUSH WITH WALLS AND FLOORS UNLESS OTHERWISE NOTED. PATCH ALL SURFACES AND PROVIDE FIRESTOPPING WHERE REQUIRED.
- F. REPAIR ADJACENT CONSTRUCTION AND FINISHES WHERE DAMAGED BY DEMOLITION WORK. REPAIRS SHALL BE MADE TO RETURN SPACE TO ORIGINAL CONDITION PRIOR TO COMPLETION OF THE PROJECT.
- G. DISCONNECT AND REMOVE ALL ELECTRICAL SYSTEMS INCLUDING SPECIAL SYSTEMS, IN WALLS, FLOORS AND CEILINGS SCHEDULED FOR REMOVAL.
- H. PROVIDE TEMPORARY WIRING AND CONNECTIONS TO MAINTAIN OPERATION OF EXISTING SYSTEMS DURING CONSTRUCTION. CONDITIONS SHALL BE RETURNED TO NORMAL AT THE CLOSE OF THE PROJECT.
- I. PROVIDE BLANK COVERS PLATES ON ALL JUNCTION AND DEVICE BOXES WHERE DEVICE HAS BEEN REMOVED AND BOX IS TO REMAIN FOR FUTURE USE.
- J. DISPOSE OF ALL LAMPS AND BALLASTS AS REQUIRED AND DIRECTED IN THE LATEST FEDERAL GUIDELINES.
- K. DISPOSE OF ALL MATERIALS AND EQUIPMENT REMOVED THAT ARE NOT TO BE TURNED OVER TO THE OWNER.
- L. COORDINATE ALL DISRUPTIONS OF SERVICE WITH THE OWNER. DO NOT PROCEED WITH DISRUPTIONS WITHOUT OWNER'S APPROVAL.
- M. REMOVE ALL CONDUIT, CONDUCTORS, CABLES, JUNCTION BOXES, HANGERS AND ALL OTHER ASSOCIATED SPECIFICATION DIVISION 26, 27 AND 28 DEVICES LOCATED IN THE SCOPE OF THE WORK AREA. REMOVE BACK TO SOURCE PANEL, TERMINATION OR SPLICE LOCATED OUTSIDE OF PROJECT SCOPE OF WORK AREA, EXCEPT WHERE NOTED OTHERWISE.

KEYNOTES

- ① EXISTING UNDERGROUND ELECTRICAL SERVICE TO BE REPLACED.
- ② EXISTING UNDERGROUND TRANSFORMER VAULT, TRANSFORMERS TO BE REMOVED AND VAULT TO BE FILLED AND ABANDONED.
- ③ EXISTING SWITCH GEAR, PANELS AND DISTRIBUTION SYSTEM TO BE REPLACED.
- ④ NEW SITE LIGHTING, INCLUDING UPDATING EXISTING AS REQUIRED.
- ⑤ NEW PAD MOUNT 480V AND 120/240V TRANSFORMERS.
- ⑥ NEW EMERGENCY GENERATOR.
- ⑦ NEW UNDERGROUND ELECTRICAL SERVICE.

POWER DISTRIBUTION SYSTEM

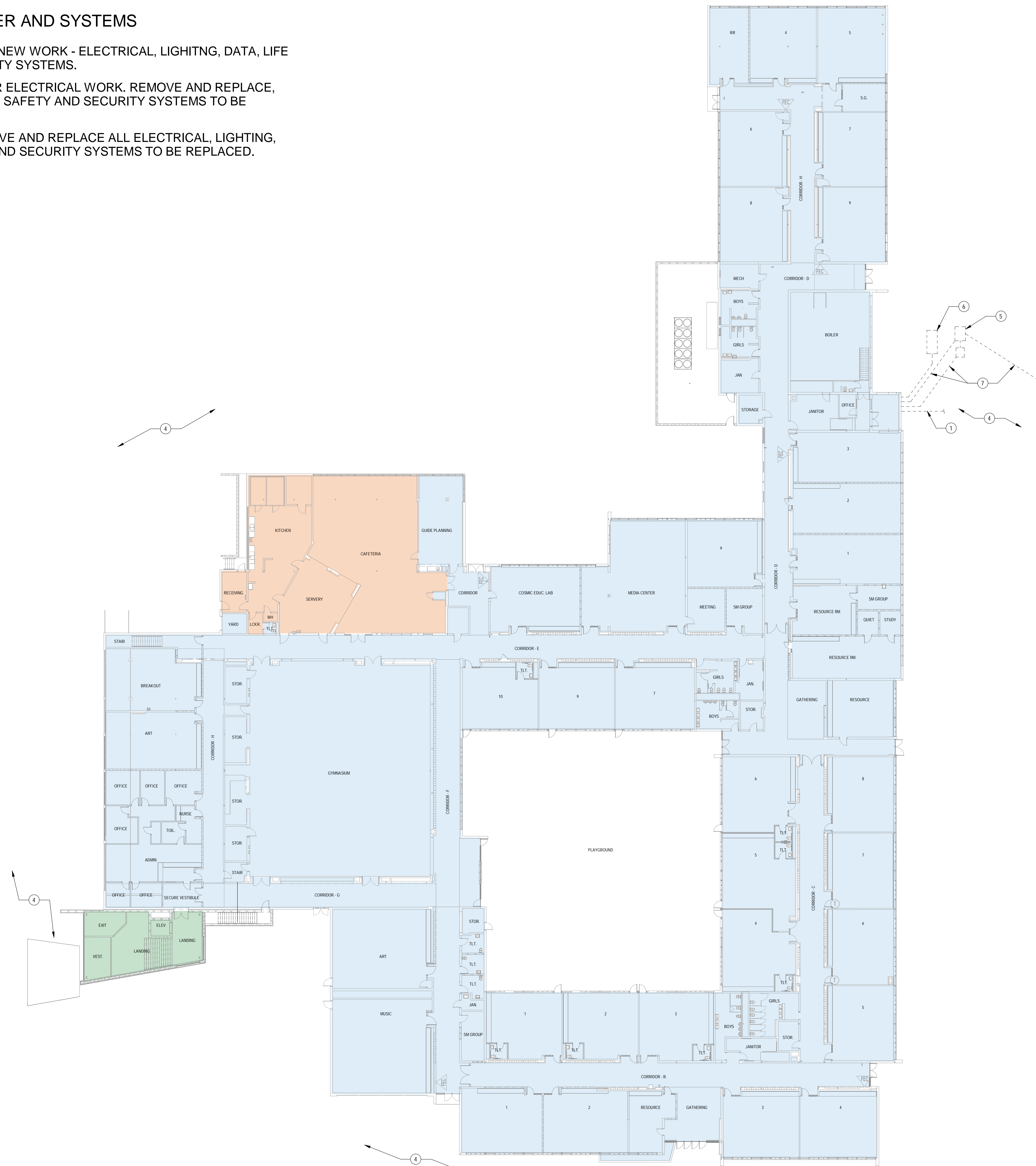
- ELECTRICAL DISTRIBUTION SYSTEM SHALL BE 480Y/277V, 3 PHASE, 4 WIRE, AND 208/120V, 3 PHASE, 4 WIRE.
- BOTH MDPS SHALL BE EQUIPPED WITH A DIGITAL METER CAPABLE OR MEASURING AMPS, VOLTS, KW, KVA, ETC. AND AMP AND VOLT SWITCHES.
- THE MAIN FEED SHALL HAVE REMOTE MONITORING CAPABILITY FOR kWh USE AND kW DEMAND. IT SHALL REPORT TO THE CAMPUS WIDE ENERGY MANAGEMENT SYSTEM.
- EXISTING TRANSFORMERS SHALL BE REMOVED FROM THE VAULT UNDER THE LOADING DOCK AND THE VAULT ABANDONED AND FILLED.
- NEW PAD MOUNTED TRANSFORMER SHALL BE INSTALLED.
- EMERGENCY POWER SYSTEM SHALL BE INSTALLED PER GOVERNING CODES SIZED TO ACCOMMODATE UP TO 20% ADDITIONAL LOAD FOR POTENTIAL FUTURE EXPANSION.

SYSTEMS

- REPLACE EXISTING FIRE ALARM SYSTEM WITH NEW FIRE ALARM SYSTEM, EQUIPPED WITH VOICE CAPABILITY, THROUGHOUT THE FACILITY.
- REPLACE VOICE AND DATA CABLING SYSTEMS THROUGHOUT THE FACILITY.
- REPLACE SECURITY ACCESS AND CAMERA SURVEILLANCE SYSTEMS THROUGHOUT THE FACILITY.
- REPLACE PUBLIC ADDRESS SYSTEM THROUGHOUT THE FACILITY.

ELECTRICAL POWER AND SYSTEMS

- NEW ADDITION - ALL NEW WORK - ELECTRICAL, LIGHTING, DATA, LIFE SAFETY AND SECURITY SYSTEMS.
- RENOVATION - MINOR ELECTRICAL WORK. REMOVE AND REPLACE, LIGHTING, DATA, LIFE SAFETY AND SECURITY SYSTEMS TO BE REPLACED.
- RENOVATION - REMOVE AND REPLACE ALL ELECTRICAL, LIGHTING, DATA, LIFE SAFETY AND SECURITY SYSTEMS TO BE REPLACED.



FIRST LEVEL ELECTRICAL SCHEMATIC PLAN
1" = 20'-0"

- GENERAL DEMOLITION NOTES**
- A. DEMOLITION NOTES ARE BASED UPON FIELD OBSERVATION AND EXISTING RECORD DOCUMENTS. THE ELECTRICAL CONTRACTOR SHALL VERIFY EXACT CONDITIONS AT THE SITE AND REPORT DISCREPANCIES TO THE ARCHITECT/ENGINEER BEFORE DISTURBING THE INSTALLATION.
 - B. THE SCOPE OF THE REQUIRED DEMOLITION IS NOT LIMITED TO THE ITEMS OR WORK INDICATED ON THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL DETERMINE THE NATURE AND EXTENT OF WORK REQUIRED. THE CONTRACTOR ACCEPTS EXISTING SITE CONDITIONS AT THE START OF DEMOLITION.
 - C. WHERE ELECTRICAL COMPONENTS ARE SHOWN TO BE REMOVED, RECONNECT REMAINING COMPONENTS TO EXISTING CIRCUIT(S) AND PROVIDE TEMPORARY CIRCUIT(S) DURING CONSTRUCTION AS REQUIRED.
 - D. WHERE THE DRAWINGS SHOW DEVICES OR EQUIPMENT TO BE PERMANENTLY REMOVED, REMOVE CONDUCTORS BACK TO SOURCE, TURN CIRCUIT BREAKER OFF AND LABEL THE CIRCUIT BREAKER AS A SPARE ON A NEWLY PRINTED PANELBOARD DIRECTORY.
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 - F. REPAIR ADJACENT CONSTRUCTION AND FINISHES WHERE DAMAGED BY DEMOLITION WORK. REPAIRS SHALL BE MADE TO RETURN SPACE TO ORIGINAL CONDITION PRIOR TO COMPLETION OF THE PROJECT.
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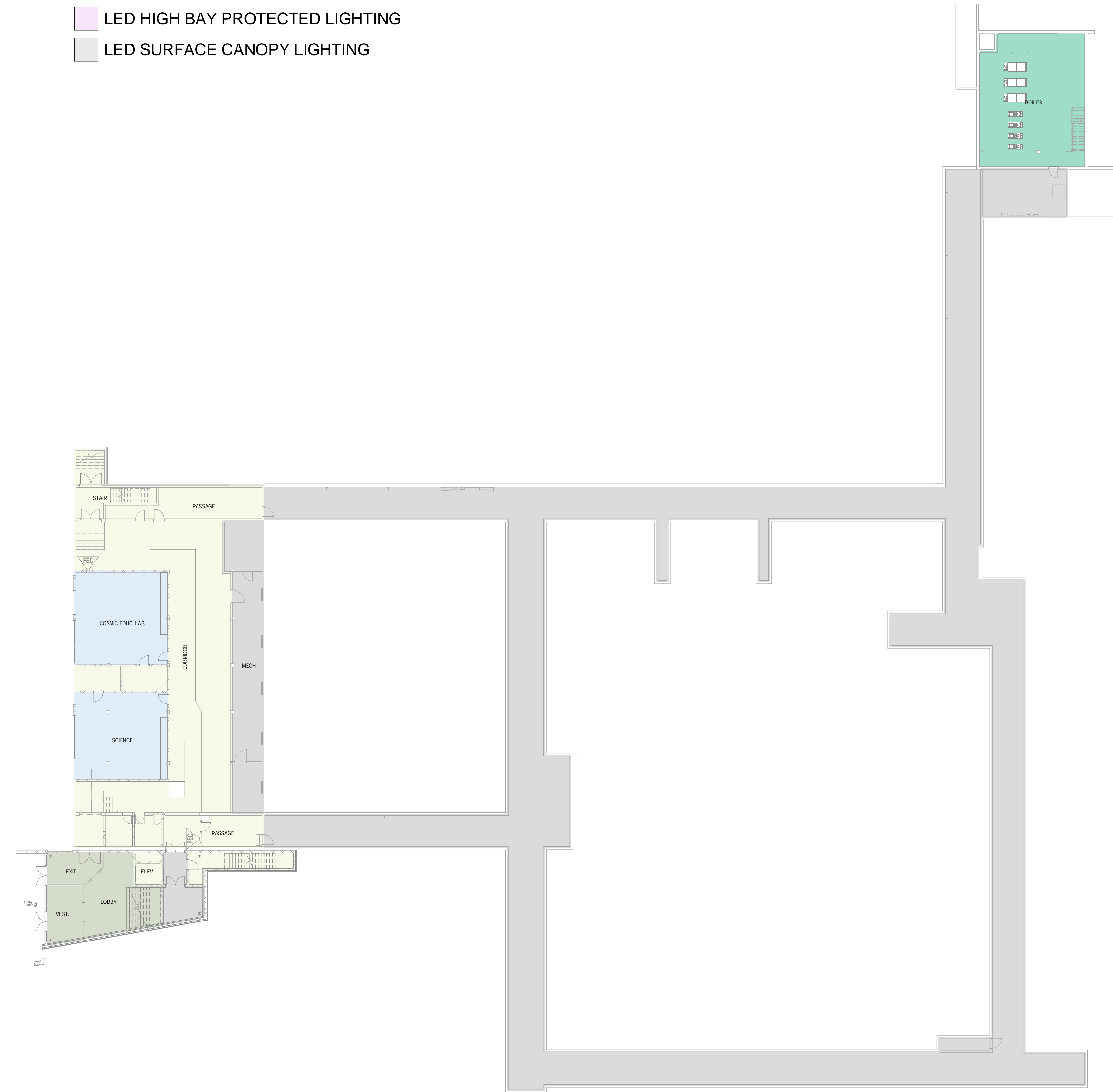
- KEYNOTES**
- 1 EXISTING UNDERGROUND ELECTRICAL SERVICE TO BE REPLACED.
 - 2 EXISTING UNDERGROUND TRANSFORMER VAULT, TRANSFORMER S TO BE REMOVED AND VAULT TO BE FILLED AND ABANDONED.
 - 3 EXISTING SWITCH GEAR, PANELS AND DISTRIBUTION SYSTEM TO BE REPLACED.
 - 4 NEW SITE LIGHTING, INCLUDING UPDATING EXISTING AS REQUIRED.
 - 5 NEW PAD MOUNT 480V AND 120/240V TRANSFORMERS.
 - 6 NEW EMERGENCY GENERATOR.
 - 7 NEW UNDERGROUND ELECTRICAL SERVICE.

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- ELECTRICAL DISTRIBUTION SYSTEM SHALL BE 480Y/277V, 3 PHASE, 4 WIRE, AND 208Y/120V, 3 PHASE, 4 WIRE.
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 - REPLACE VOICE AND DATA CABLING SYSTEMS THROUGHOUT THE FACILITY.
 - REPLACE SECURITY ACCESS AND CAMERA SURVEILLANCE SYSTEMS THROUGHOUT THE FACILITY.
 - REPLACE PUBLIC ADDRESS SYSTEM THROUGHOUT THE FACILITY.

LIGHTING FIXTURE TYPES

- ARCHITECTURAL LED CENTER BASKET TROFFER
- ARCHITECTURAL LED LINEAR LIGHTING
- ARCHITECTURAL LED LINEARS WITH ACCENT LIGHTING FIXTURES
- EXISTING LIGHTING TO REMAIN
- LED DROP LENSED STRIP LIGHTING
- LED FLAT PANEL NSF RATED TROFFERS
- LED FLAT PANEL TROFFERS
- LED HIGH BAY LIGHTING
- LED HIGH BAY PROTECTED LIGHTING
- LED SURFACE CANOPY LIGHTING



LOWER LEVEL LIGHTING SCHEMATIC PLAN
1" = 20'-0"

GENERAL DEMOLITION NOTES

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- B. THE SCOPE OF THE REQUIRED DEMOLITION IS NOT LIMITED TO THE ITEMS OR WORK INDICATED ON THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL DETERMINE THE NATURE AND EXTENT OF WORK REQUIRED. THE CONTRACTOR ACCEPTS EXISTING SITE CONDITIONS AT THE START OF DEMOLITION.
- C. WHERE ELECTRICAL COMPONENTS ARE SHOWN TO BE REMOVED, RECONNECT REMAINING COMPONENTS TO EXISTING CIRCUIT(S) AND PROVIDE TEMPORARY CIRCUIT(S) DURING CONSTRUCTION AS REQUIRED.
- D. WHERE THE DRAWINGS SHOW DEVICES OR EQUIPMENT TO BE PERMANENTLY REMOVED, REMOVE CONDUCTORS BACK TO SOURCE, TURN CIRCUIT BREAKER OFF AND LABEL THE CIRCUIT BREAKER AS A SPARE ON A NEWLY PRINTED PANELBOARD DIRECTORY.
- E. REMOVE ALL ABANDONED CONDUIT. THE ELECTRICAL CONTRACTOR SHALL CUT CONDUIT FLUSH WITH WALLS AND FLOORS UNLESS OTHERWISE NOTED. PATCH ALL SURFACES AND PROVIDE FIRESTOPPING WHERE REQUIRED.
- F. REPAIR ADJACENT CONSTRUCTION AND FINISHES WHERE DAMAGED BY DEMOLITION WORK. REPAIRS SHALL BE MADE TO RETURN SPACE TO ORIGINAL CONDITION PRIOR TO COMPLETION OF THE PROJECT.
- G. DISCONNECT AND REMOVE ALL ELECTRICAL SYSTEMS INCLUDING SPECIAL SYSTEMS, IN WALLS, FLOORS AND CEILINGS SCHEDULED FOR REMOVAL.
- H. PROVIDE TEMPORARY WIRING AND CONNECTIONS TO MAINTAIN OPERATION OF EXISTING SYSTEMS DURING CONSTRUCTION. CONDITIONS SHALL BE RETURNED TO NORMAL AT THE CLOSE OF THE PROJECT.
- I. PROVIDE BLANK COVERS PLATES ON ALL JUNCTION AND DEVICE BOXES WHERE DEVICE HAS BEEN REMOVED AND BOX IS TO REMAIN FOR FUTURE USE.
- J. DISPOSE OF ALL LAMPS AND BALLASTS AS REQUIRED AND DIRECTED IN THE LATEST FEDERAL GUIDELINES.
- K. DISPOSE OF ALL MATERIALS AND EQUIPMENT REMOVED THAT ARE NOT TO BE TURNED OVER TO THE OWNER.
- L. COORDINATE ALL DISRUPTIONS OF SERVICE WITH THE OWNER. DO NOT PROCEED WITH DISRUPTIONS WITHOUT OWNER'S APPROVAL.
- M. REMOVE ALL CONDUIT, CONDUCTORS, CABLES, JUNCTION BOXES, HANGERS AND ALL OTHER ASSOCIATED SPECIFICATION DIVISION 26, 27 AND 28 DEVICES LOCATED IN THE SCOPE OF THE WORK AREA. REMOVE BACK TO SOURCE PANEL, TERMINATION OR SPLICE LOCATED OUTSIDE OF PROJECT SCOPE OF WORK AREA, EXCEPT WHERE NOTED OTHERWISE.

LIGHTING CONTROLS

- LIGHTING CONTROLS BASED ON A CRESTRON LIGHTING CONTROL SYSTEM.
- COMBINATION OF WIRED AND WIRELESS CONTROLS WHERE APPLICABLE.
- FULLY PROGRAMMABLE USING A COMBINATION OF OCCUPANCY, VACANCY AND DAYLIGHT HARVESTING SENSORS TO MEET MICHIGAN ENERGY CODE.
- CORRIDORS AND RESTROOMS DURING OPERATIONAL HOURS SHALL BE OCCUPANCY SENSOR ON AND OCCUPANCY SENSOR DIM TO 50%. AFTER NORMAL OPERATIONAL HOURS CORRIDORS AND RESTROOMS SHALL BE OCCUPANCY SENSOR ON AND OCCUPANCY SENSOR OFF.
- CORRIDORS AND RESTROOMS SHALL HAVE AN ON/OFF OVERRIDE SWITCH LOCATED IN ADMINISTRATION.
- CLASSROOMS SHALL BE MANUAL SWITCH ON AND VACANCY SENSOR / MANUAL OFF AND DIMMABLE. ONE CONTROL FOR THE TEACHING WALL AND ONE FOR THE GENERAL CLASSROOM.
- ADMINISTRATION AREAS OPEN TO THE PUBLIC SHALL OPERATE THE SAME AS CORRIDORS.
- ADMINISTRATION OFFICES, GENERAL OFFICES AND MEETING ROOMS SHALL BE MANUAL ON AND VACANCY SENSOR / MANUAL OFF AND DIMMABLE.
- GYMNASIUM AND CAFETERIA SHALL BE OCCUPANCY SENSOR ON AND OCCUPANCY SENSOR OFF.
- TUNNELS, MECHANICAL AND ELECTRICAL SPACES SHALL BE SINGLE POLE MANUALLY SWITCHED ON AND OFF.
- ALL OTHER SPACES SHALL BE OCCUPANCY SENSOR ON AND OCCUPANCY SENSOR OFF.

SD - LOWER LEVEL LIGHTING

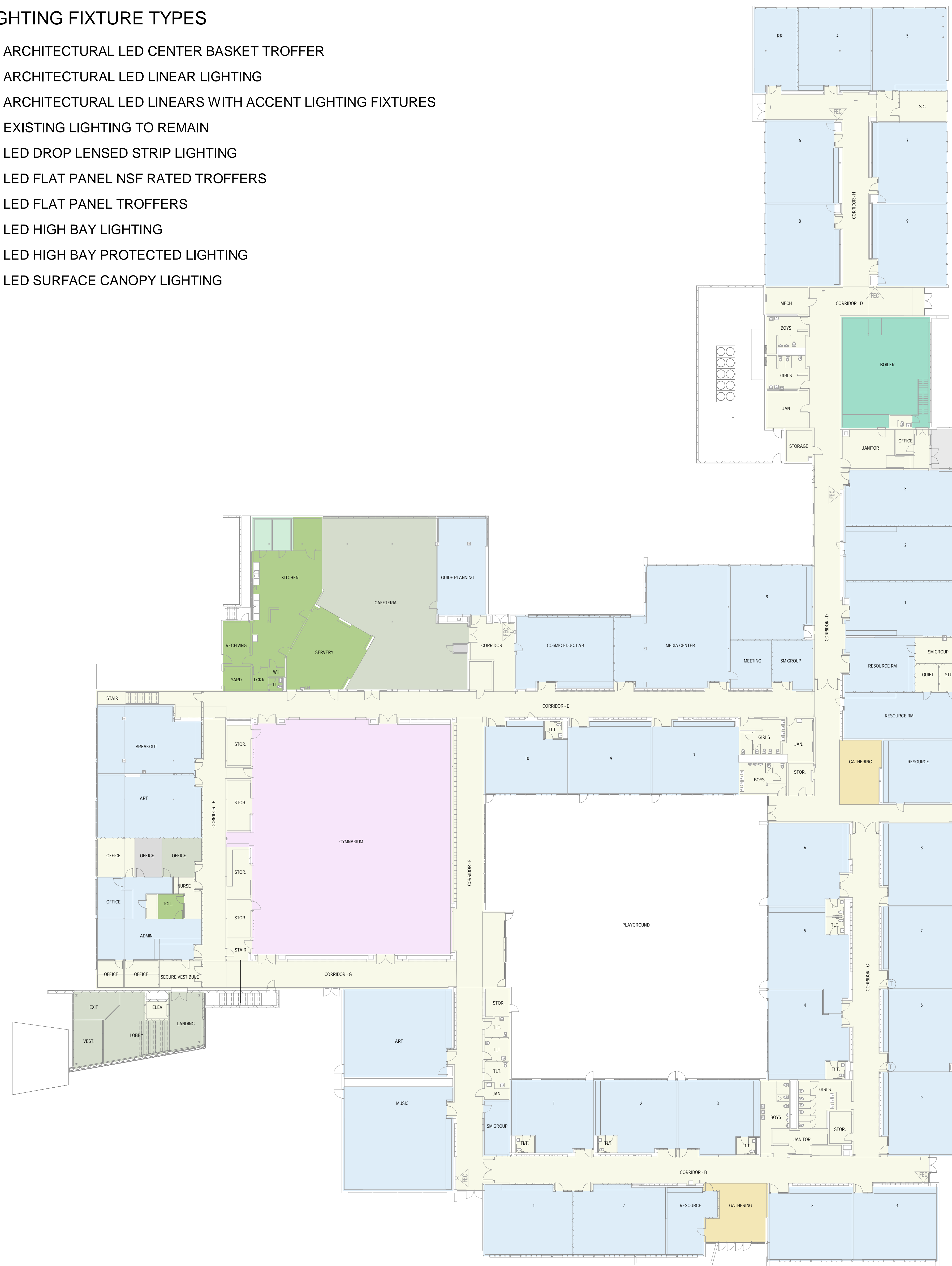
GRAND RAPIDS PUBLIC SCHOOLS RIVERSIDE MONTESSORI

27-JAN-2025



LIGHTING FIXTURE TYPES

- ARCHITECTURAL LED CENTER BASKET TROFFER
- ARCHITECTURAL LED LINEAR LIGHTING
- ARCHITECTURAL LED LINEARS WITH ACCENT LIGHTING FIXTURES
- EXISTING LIGHTING TO REMAIN
- LED DROP LENSED STRIP LIGHTING
- LED FLAT PANEL NSF RATED TROFFERS
- LED FLAT PANEL TROFFERS
- LED HIGH BAY LIGHTING
- LED HIGH BAY PROTECTED LIGHTING
- LED SURFACE CANOPY LIGHTING



▲ FIRST LEVEL LIGHTING SCHEMATIC PLAN
1" = 20'-0"

GENERAL DEMOLITION NOTES

- A. DEMOLITION NOTES ARE BASED UPON FIELD OBSERVATION AND EXISTING RECORD DOCUMENTS. THE ELECTRICAL CONTRACTOR SHALL VERIFY EXACT CONDITIONS AT THE SITE AND REPORT DISCREPANCIES TO THE ARCHITECT/ENGINEER BEFORE DISTURBING THE INSTALLATION.
- B. THE SCOPE OF THE REQUIRED DEMOLITION IS NOT LIMITED TO THE ITEMS OR WORK INDICATED ON THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL DETERMINE THE NATURE AND EXTENT OF WORK REQUIRED. THE CONTRACTOR ACCEPTS EXISTING SITE CONDITIONS AT THE START OF DEMOLITION.
- C. WHERE ELECTRICAL COMPONENTS ARE SHOWN TO BE REMOVED, RECONNECT REMAINING COMPONENTS TO EXISTING CIRCUIT(S) AND PROVIDE TEMPORARY CIRCUIT(S) DURING CONSTRUCTION AS REQUIRED.
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SD - FIRST LEVEL LIGHTING

GRAND RAPIDS PUBLIC SCHOOLS RIVERSIDE MONTESSORI

27-JAN-2025



ARCHITECT:
C2AE ARCHITECTURE
50 LOUIS ST NW, SUITE #200
GRAND RAPIDS, MI 49503

PROJECT:
GRAND RAPIDS PUBLIC SCHOOLS
RIVERSIDE MONTESSORI ACADEMY
265 ELEANOR ST. NE
GRAND RAPIDS, MI 49505

SHEET TITLE:
FOOD SERVICE
EQUIPMENT
FLOOR PLAN
SCALE 1/4" = 1'-0"

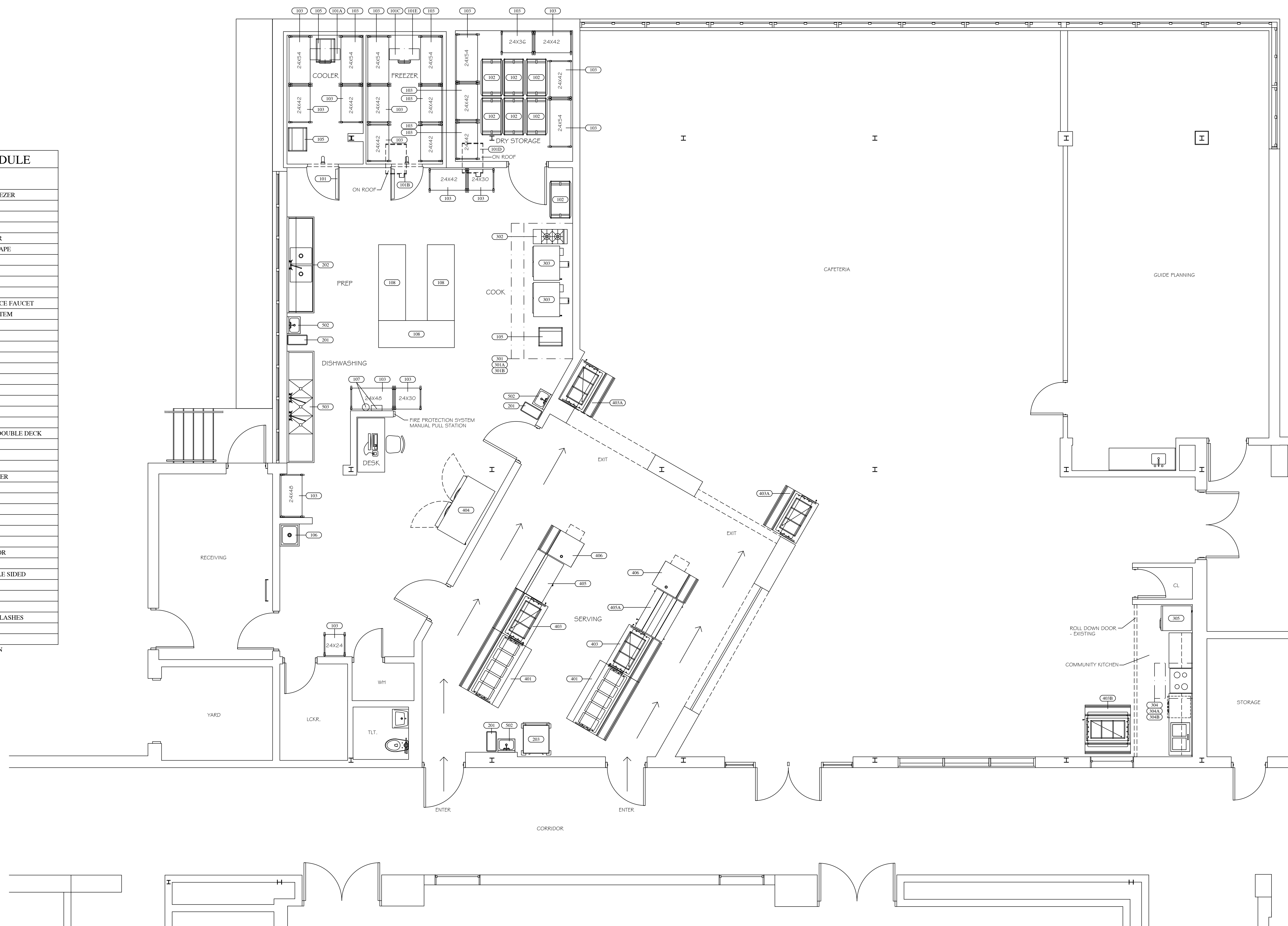
DATE CODE	PROJECT PHASE	BY
01/27/25 GRM1FP	SCHEMATIC DESIGN	AF

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SHEET NUMBER:

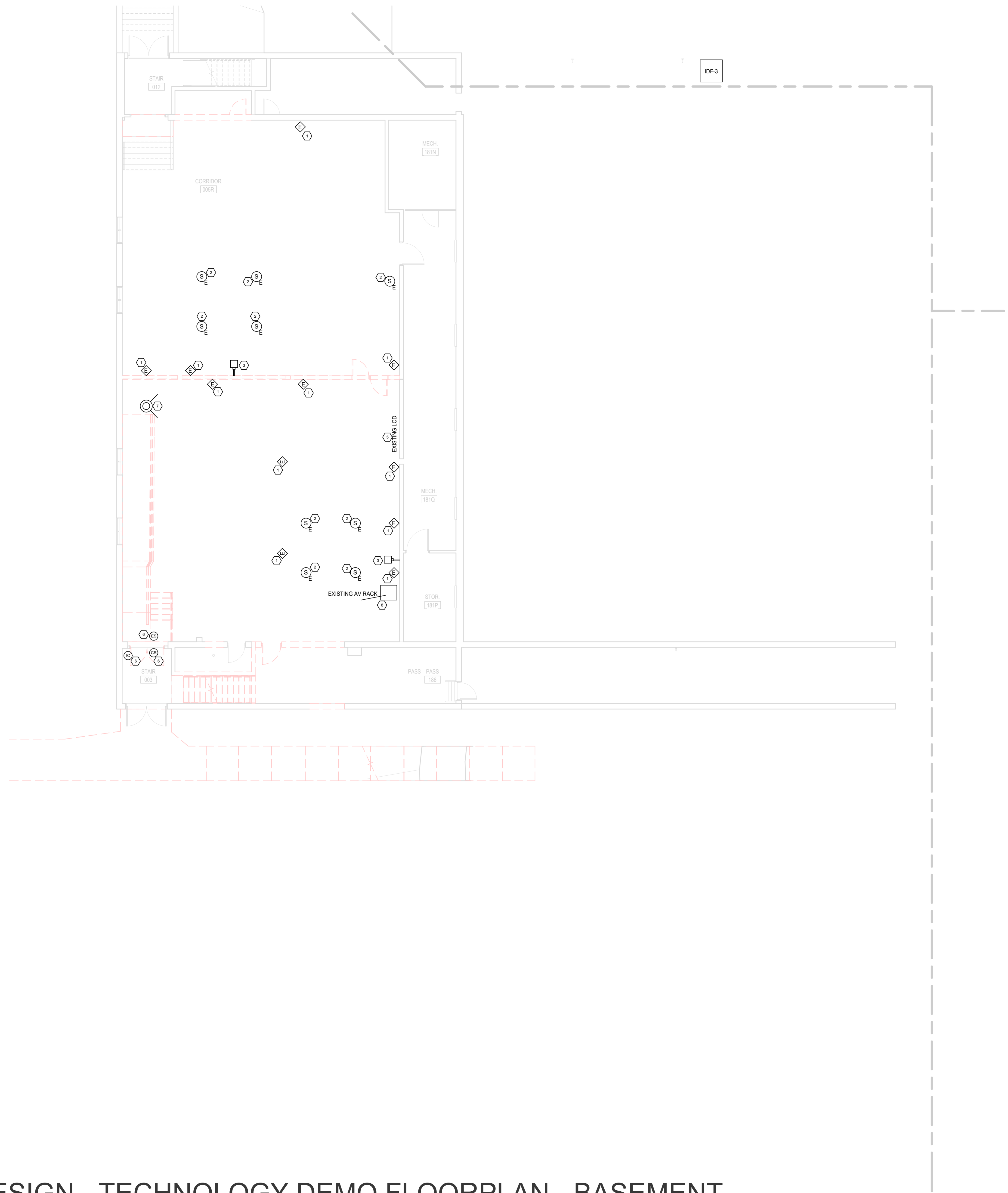
FSE-1

EQUIPMENT SCHEDULE		
Item	Qty	Equipment Category
* 101	1	WALK-IN COOLER/FREEZER
* 101A	1	COOLER COIL
* 101B	1	COOLER COMPRESSOR
* 101C	1	FREEZER COIL
* 101D	1	FREEZER COMPRESSOR
* 101E	1	FREEZER COIL HEAT TAPE
* 102	7	UTILITY CART
* 103	23	SHELVING - POLYMER
* 104	1	SPARE NUMBER
* 105	3	PAN RACK
* 106	1	MOP SINK WITH SERVICE FAUCET
* 107	1	FIRE PROTECTION SYSTEM
* 108	3	PORTABLE TABLE
* 201	3	TRASH BIN
* 202	1	PREP TABLE
* 203	1	HOT FOOD CABINET
* 301	1	HOOD
* 301A	1	EXHAUST FAN & CURB
* 301B	1	MAKE UP AIR UNIT
* 302	1	RANGE
* 303	2	CONVECTION OVEN - DOUBLE DECK
* 304	1	HOOD
* 304A	1	EXHAUST FAN & CURB
* 304B	1	MAKE UP AIR UNIT
* 305	1	REFRIGERATOR/FREEZER
* 401	2	HOT FOOD TABLE
* 402	1	SPARE NUMBER
* 403	2	COLD FOOD TABLE
* 403A	2	COLD FOOD TABLE
* 403B	1	COLD FOOD TABLE
* 404	1	ROLL-IN REFRIGERATOR
* 405	1	MILK COOLER
* 405A	1	MILK COOLER - DOUBLE SIDED
* 406	2	CASHER COUNTER
* 501	1	SPARE NUMBER
* 502	3	HAND SINK W/ SIDE SPLASHES
* 503	1	POT SINK
*		
* OWNER'S EXISTING EQUIPMENT TO REMAIN		



NOTE:

1. VERIFY ROUGHIN REQUIREMENTS FOR FUTURE, PURVEYOR SUPPLIED, OWNERS RELOCATED EQUIPMENT, OWNER SUPPLIED EQUIPMENT, ETC.
2. REUSE EXISTING ROUGHINS WHERE APPLICABLE.
3. DISCONNECT, REMOVE, STORE & RECONNECT ANY EXISTING EQUIPMENT AS REQUIRED FOR CONSTRUCTION PURPOSES.
4. EQUIPMENT NOT BEING REUSED TO BE DISCONNECTED AND STORED OR DISCARDED AS DIRECTED BY OWNER.
5. EQUIPMENT DESIGNATED AS RELOCATED SHALL BE DISCONNECTED AND RELOCATED AS PER PLANS AND SPECIFICATIONS.

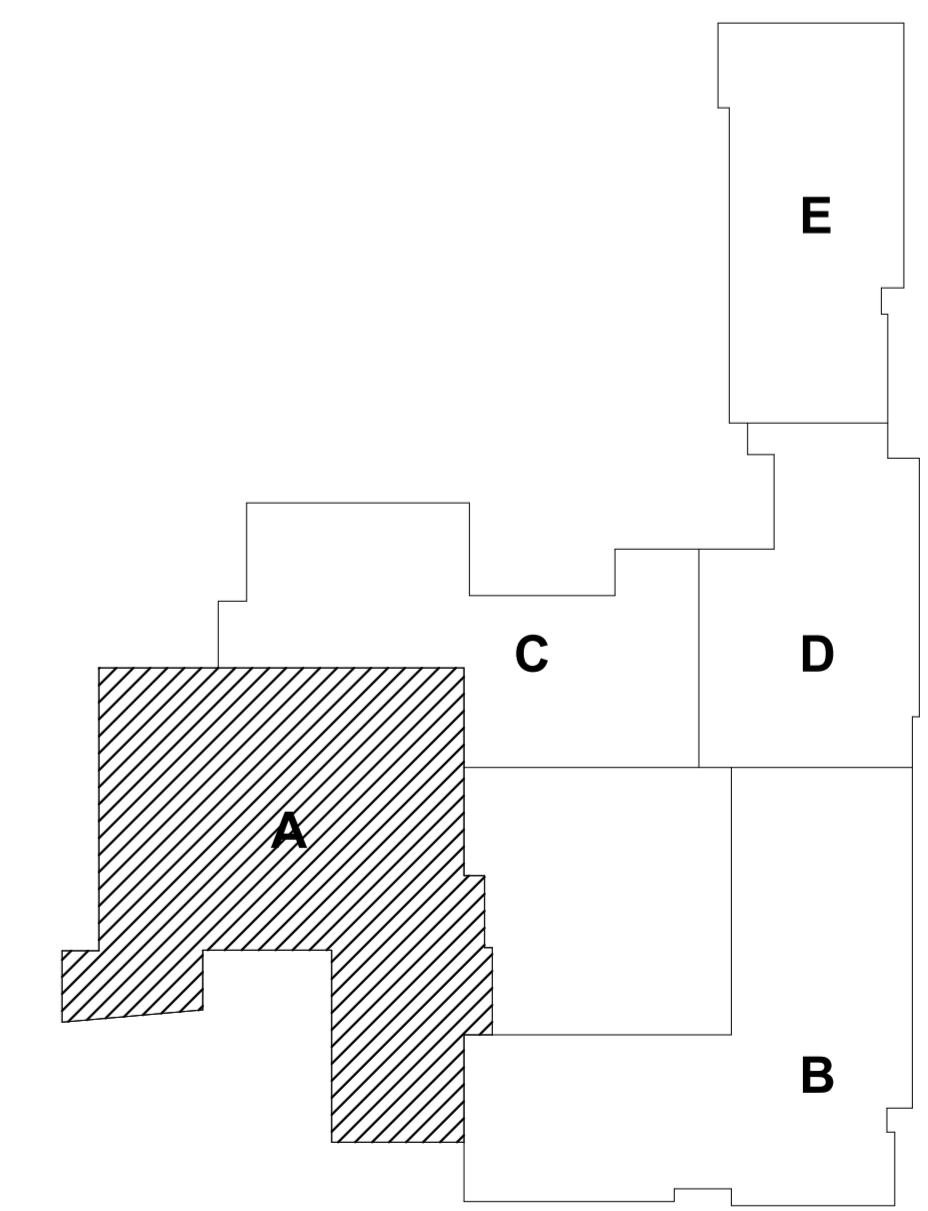


GENERAL DEMO NOTES

1. CONTRACTOR SHALL REMOVE ALL TECHNOLOGY CABLING FROM THE RENOVATED AREAS
2. OWNER WILL REMOVE WAPS, CAMERAS, LCDDISPLAYS, PROJECTORS, CLOCKS AND SPEAKERS AND DISCONNECT CABLING.
3. CONTRACTOR SHALL REMOVE AND RECYCLE ALL LOW VOLTAGE CABLES.
4. REMOVE ALL CABLES FROM TERMINATION POINT AT THE DEVICE TO THE COMMUNICATIONS ROOM. REMOVE FROM THE PATCH PANEL OR OTHER CENTRALIZED TERMINATION POINT.

KEYED DEMO NOTES

1. REMOVE EXISTING DATA CABLES ALL THE WAY TO THE RACK. DISPOSE OF DATA CABLES OFF-SITE.
2. CONTRACTOR SHALL REMOVE EXISTING SPEAKER AND CABLING AND SURRENDER TO OWNER.
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6. CONTRACTOR TO REMOVE EXISTING ACCESS CONTROL DEVICE/S AND SURRENDER TO OWNER.
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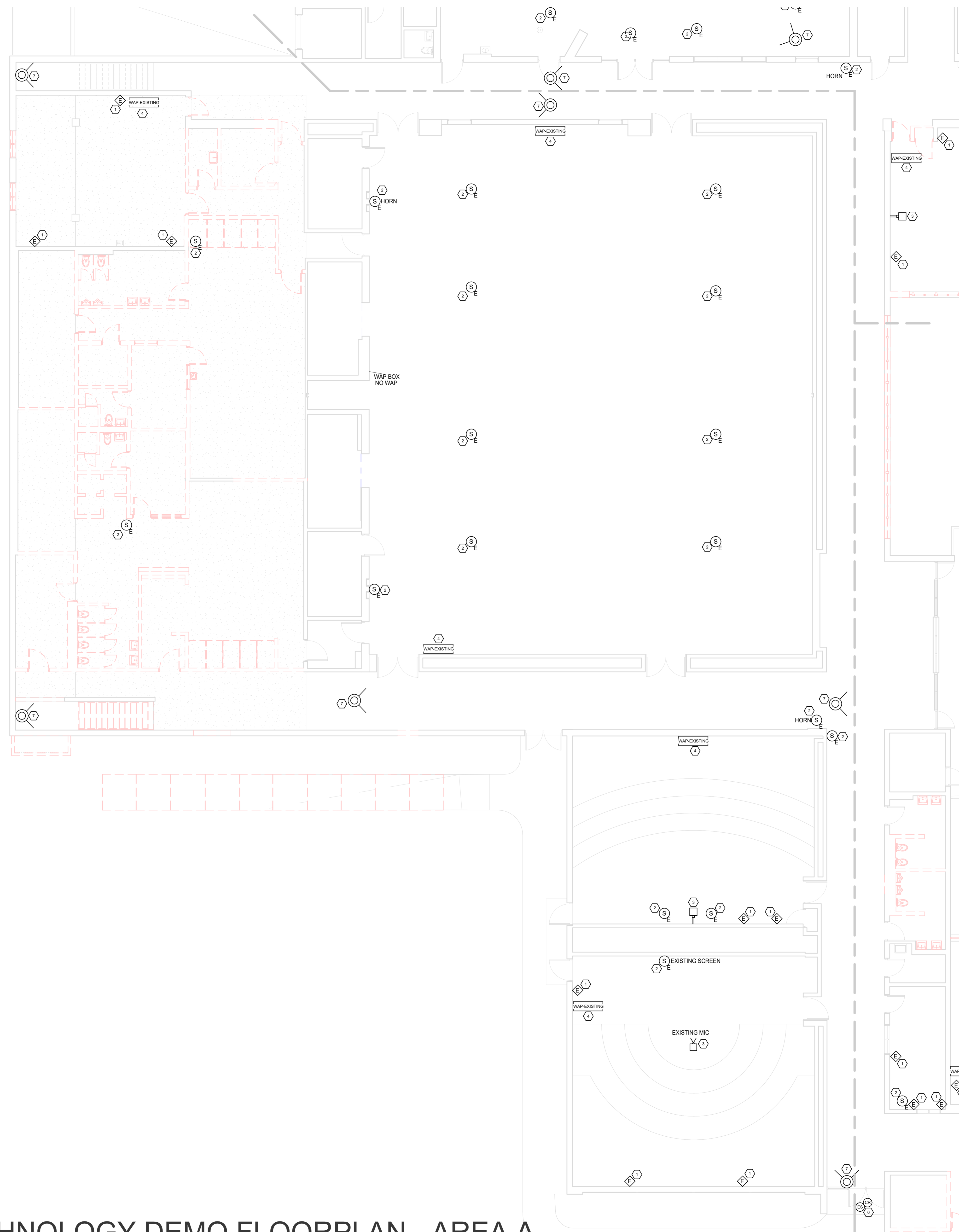


TD201 - SCHEMATIC DESIGN - TECHNOLOGY DEMO FLOORPLAN - BASEMENT

GRAND RAPIDS PUBLIC SCHOOLS RIVERSIDE MONTESSORI

27-JAN-2025



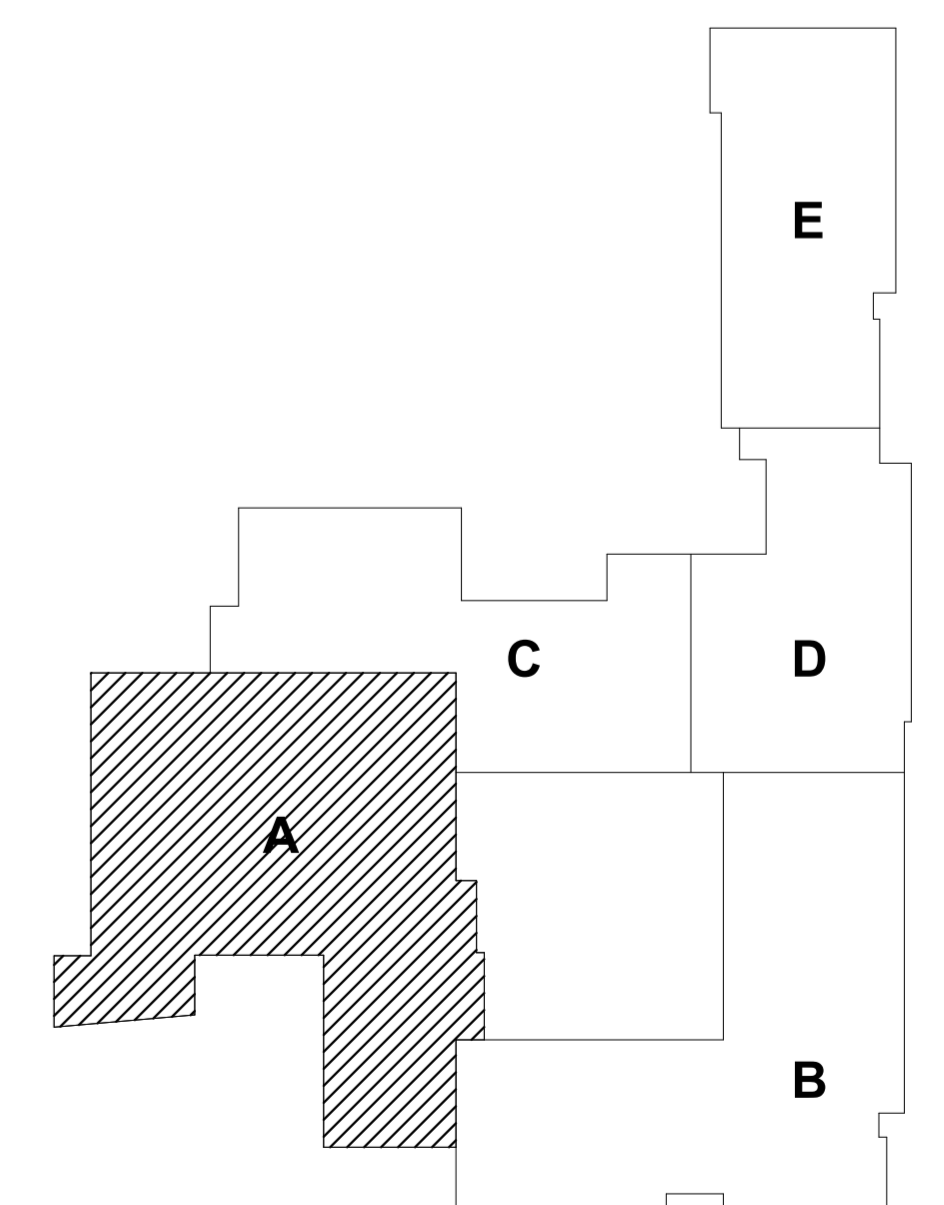


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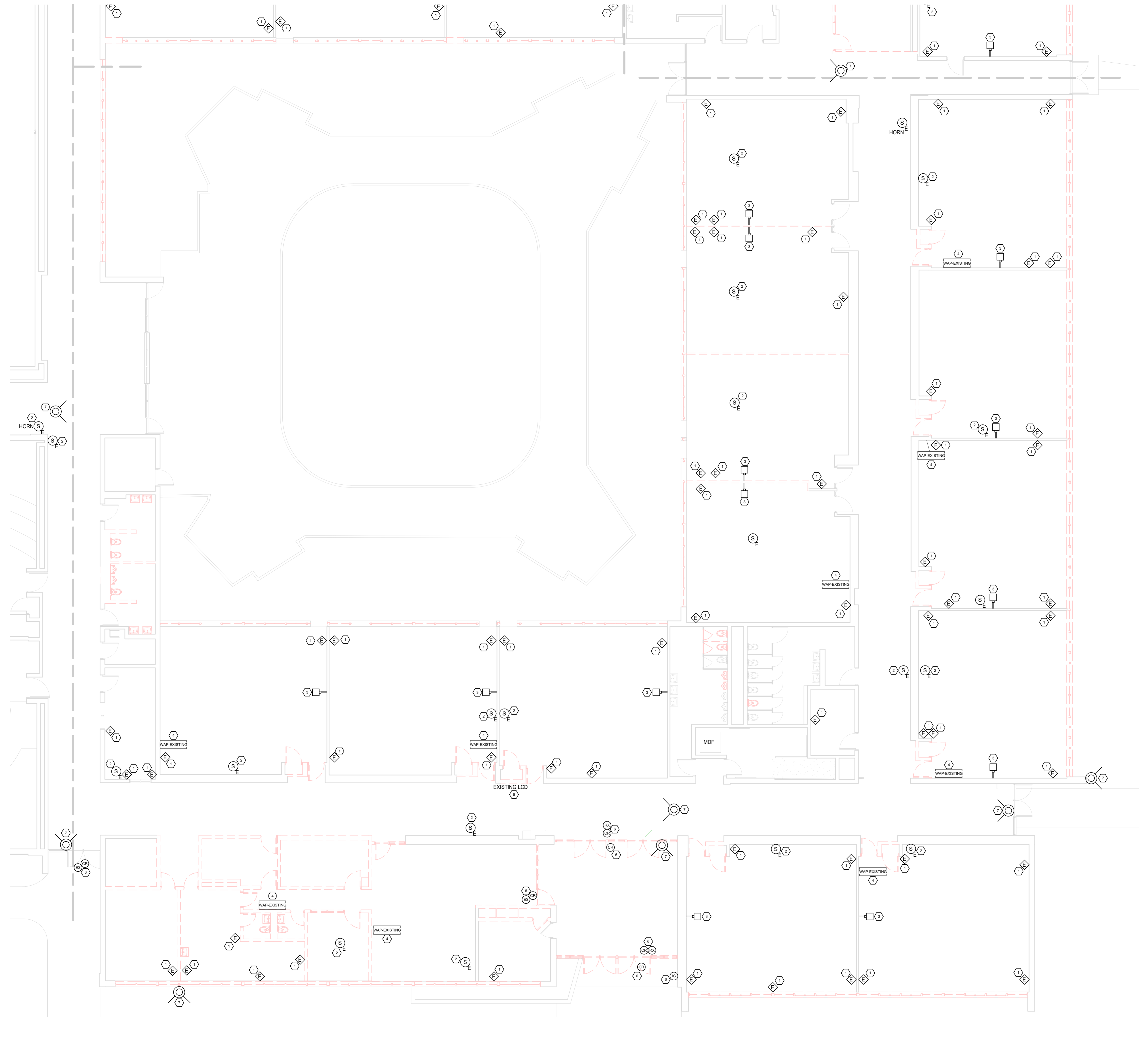


TD202 - SCHEMATIC DESIGN - TECHNOLOGY DEMO FLOORPLAN - AREA A

GRAND RAPIDS PUBLIC SCHOOLS RIVERSIDE MONTESSORI

27-JAN-2025



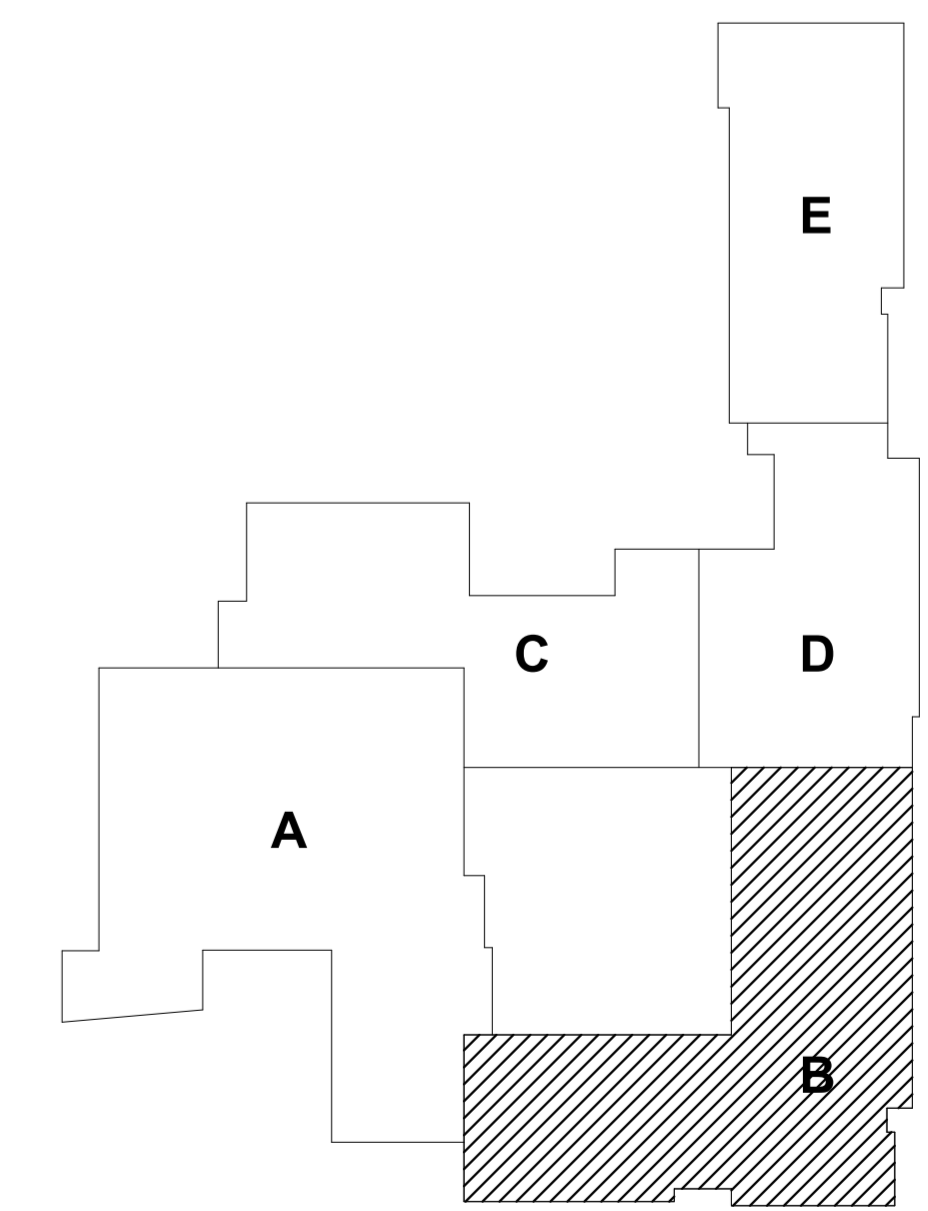


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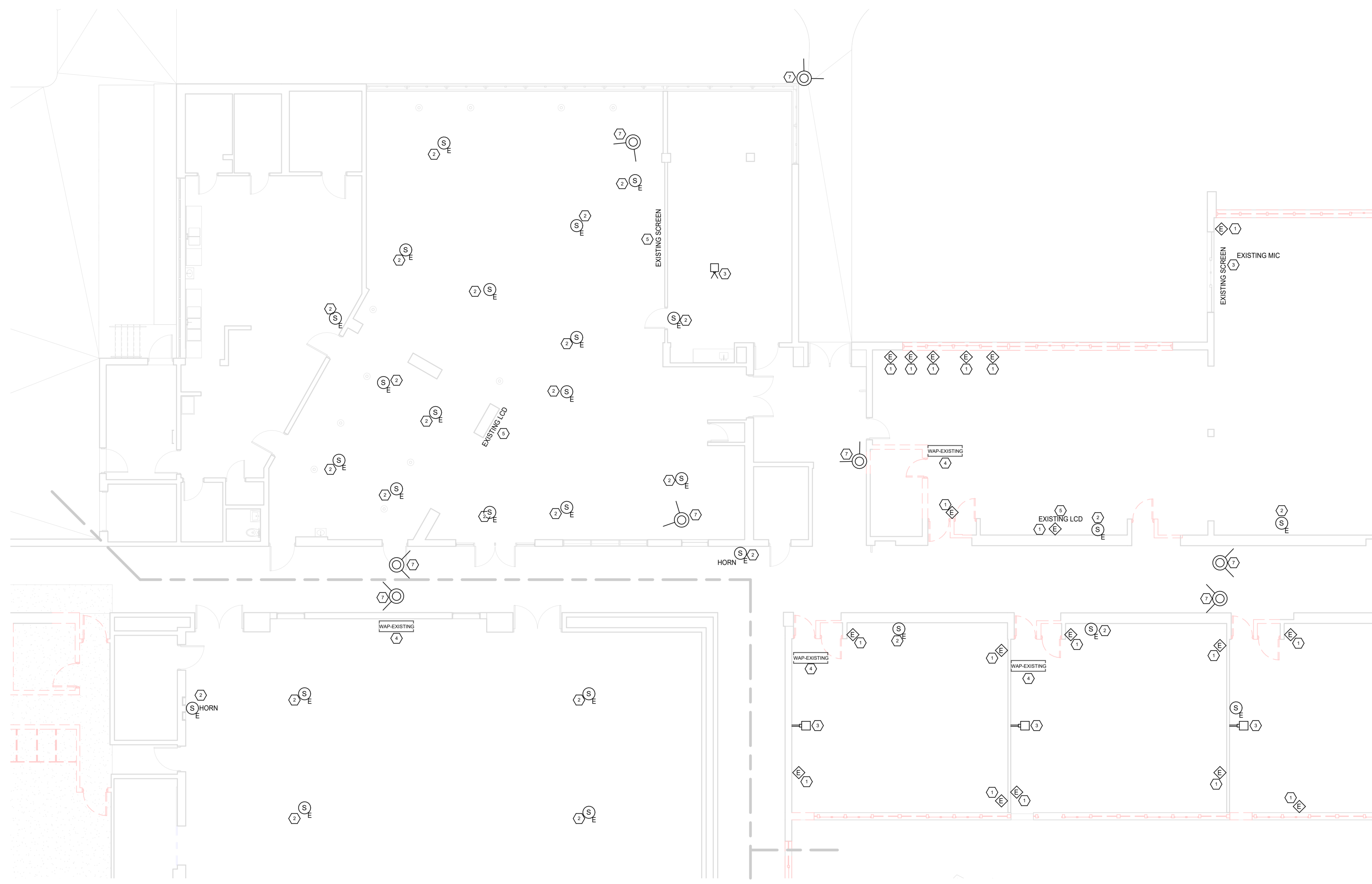


TD203 - SCHEMATIC DESIGN - TECHNOLOGY DEMO FLOORPLAN - AREA B

GRAND RAPIDS PUBLIC SCHOOLS RIVERSIDE MONTESSORI

27-JAN-2025



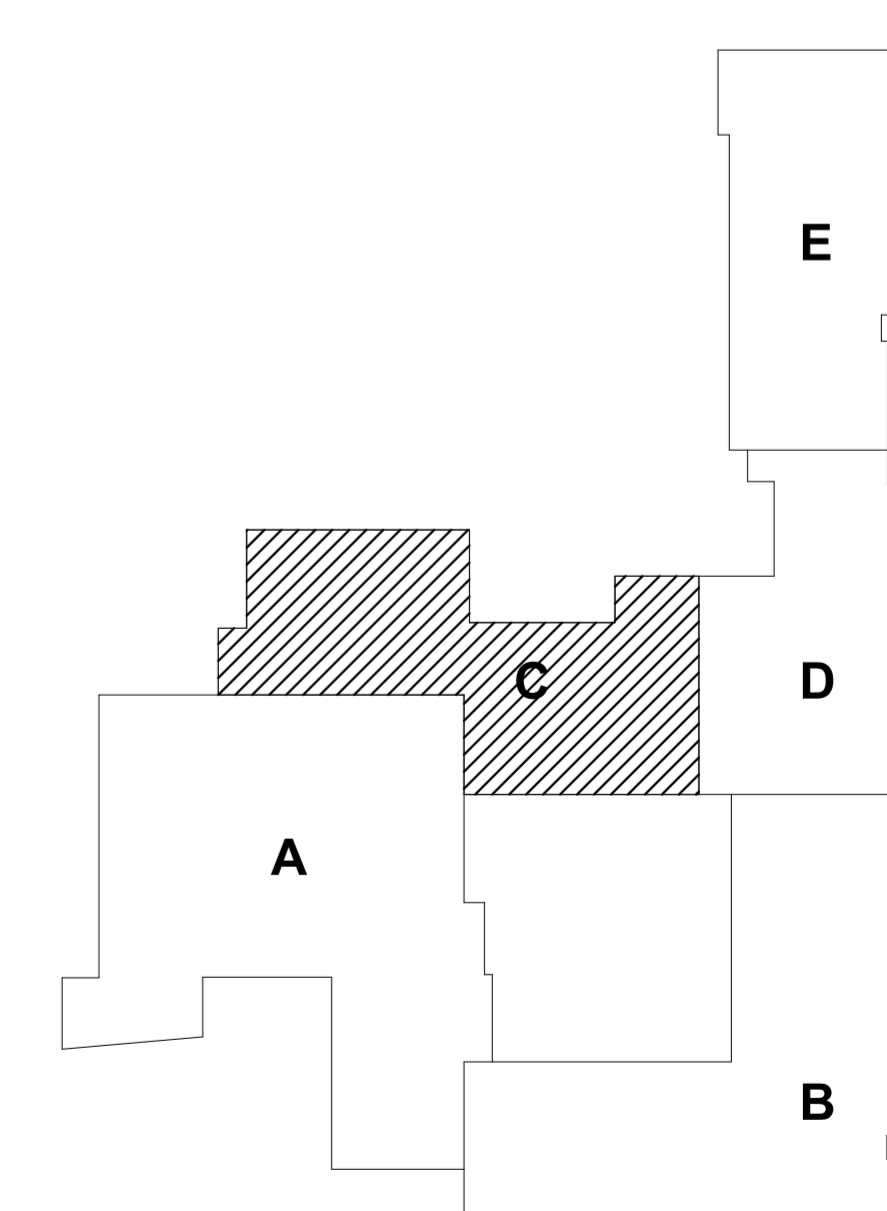


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TD204 - SCHEMATIC DESIGN - TECHNOLOGY DEMO FLOORPLAN - AREA C

GRAND RAPIDS PUBLIC SCHOOLS RIVERSIDE MONTESSORI

27-JAN-2025

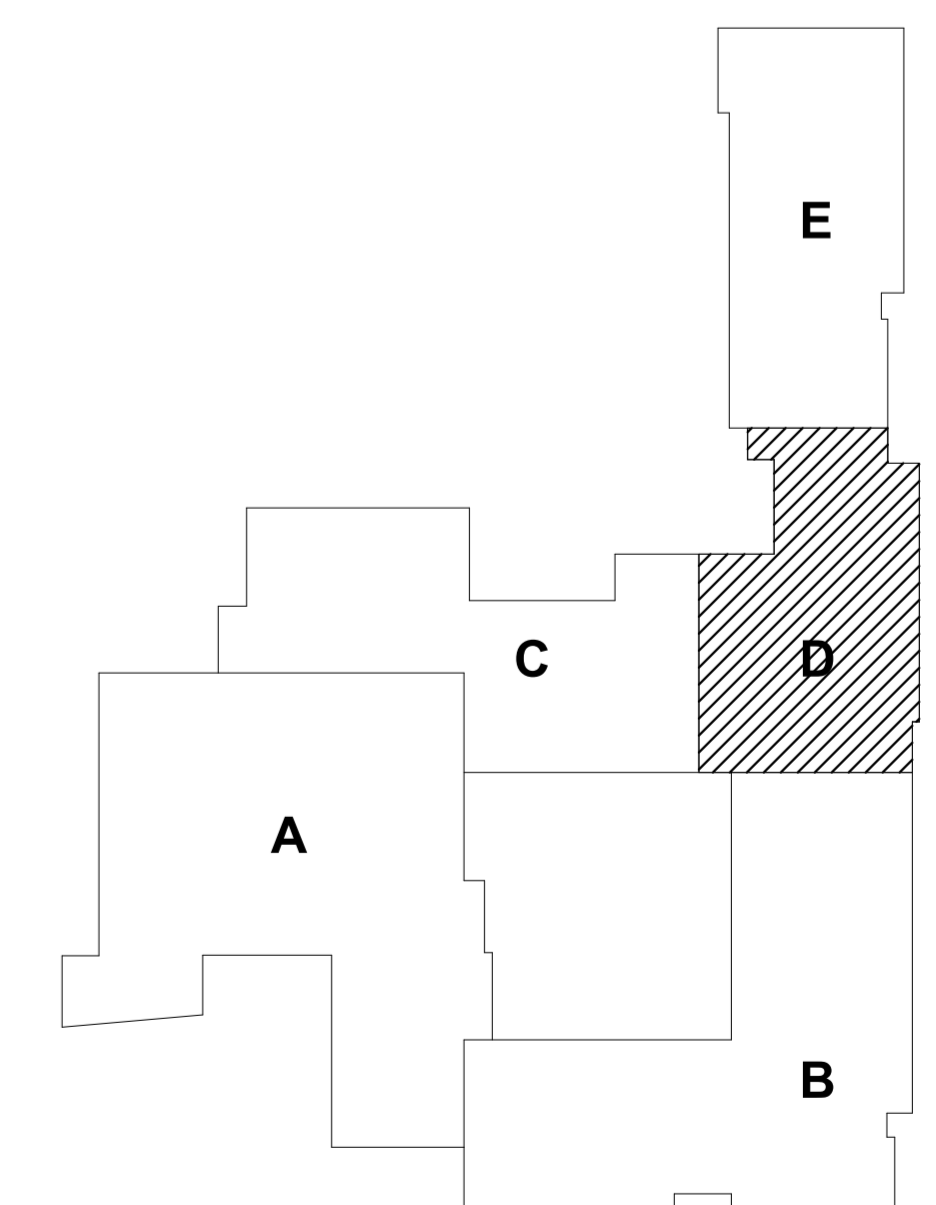
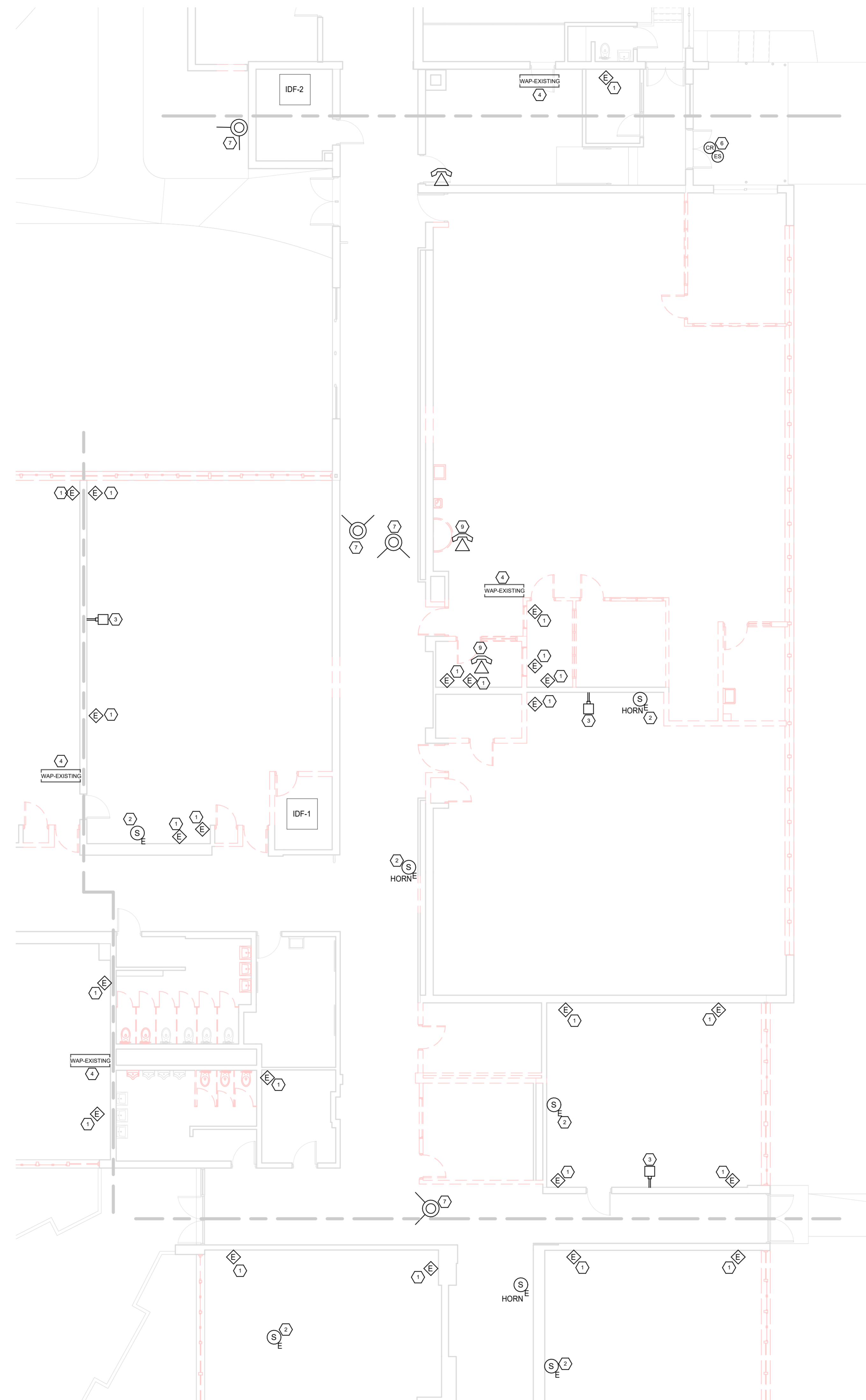


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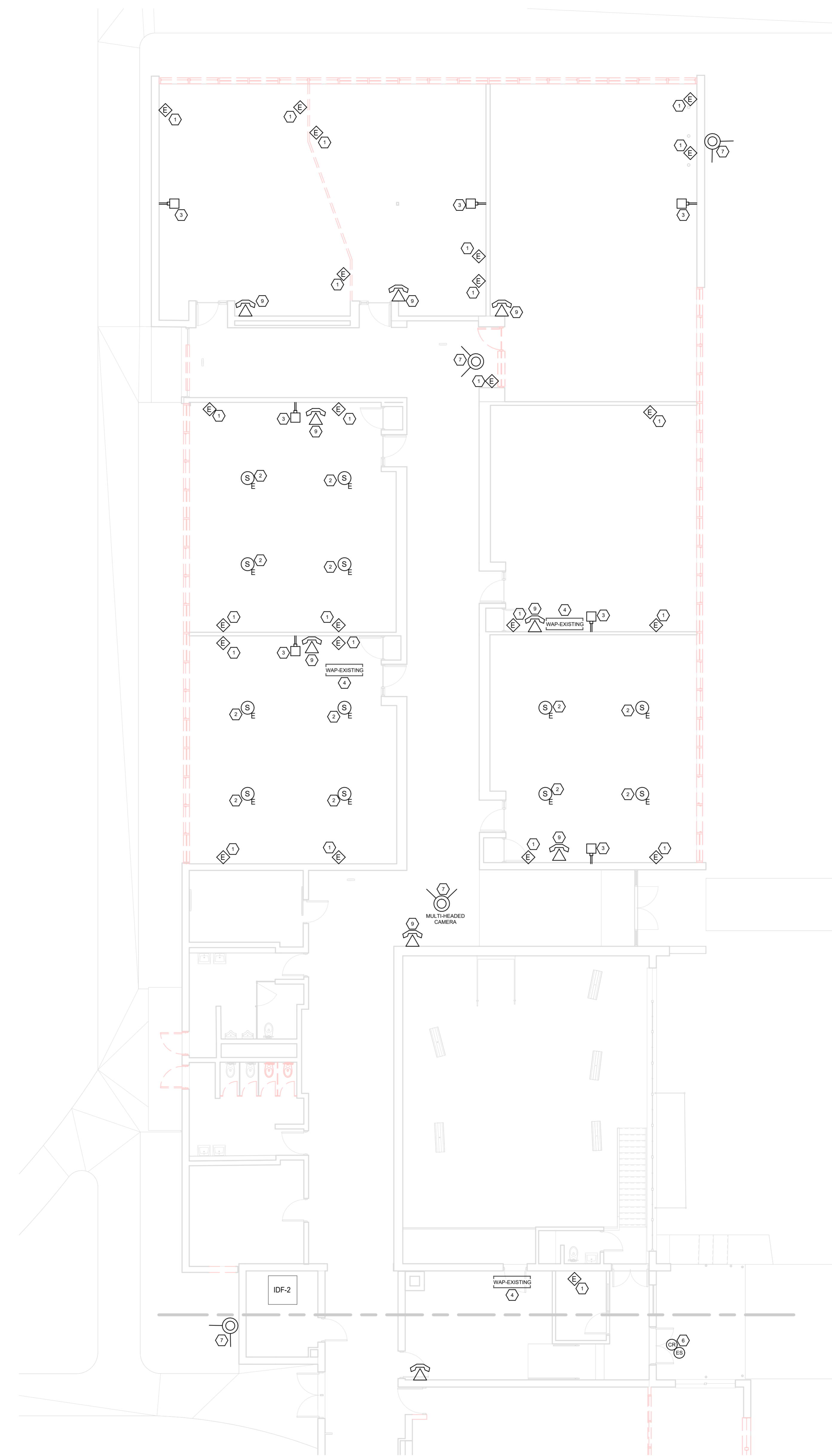


TD205 - SCHEMATIC DESIGN - TECHNOLOGY DEMO FLOORPLAN - AREA D

GRAND RAPIDS PUBLIC SCHOOLS RIVERSIDE MONTESSORI

27-JAN-2025



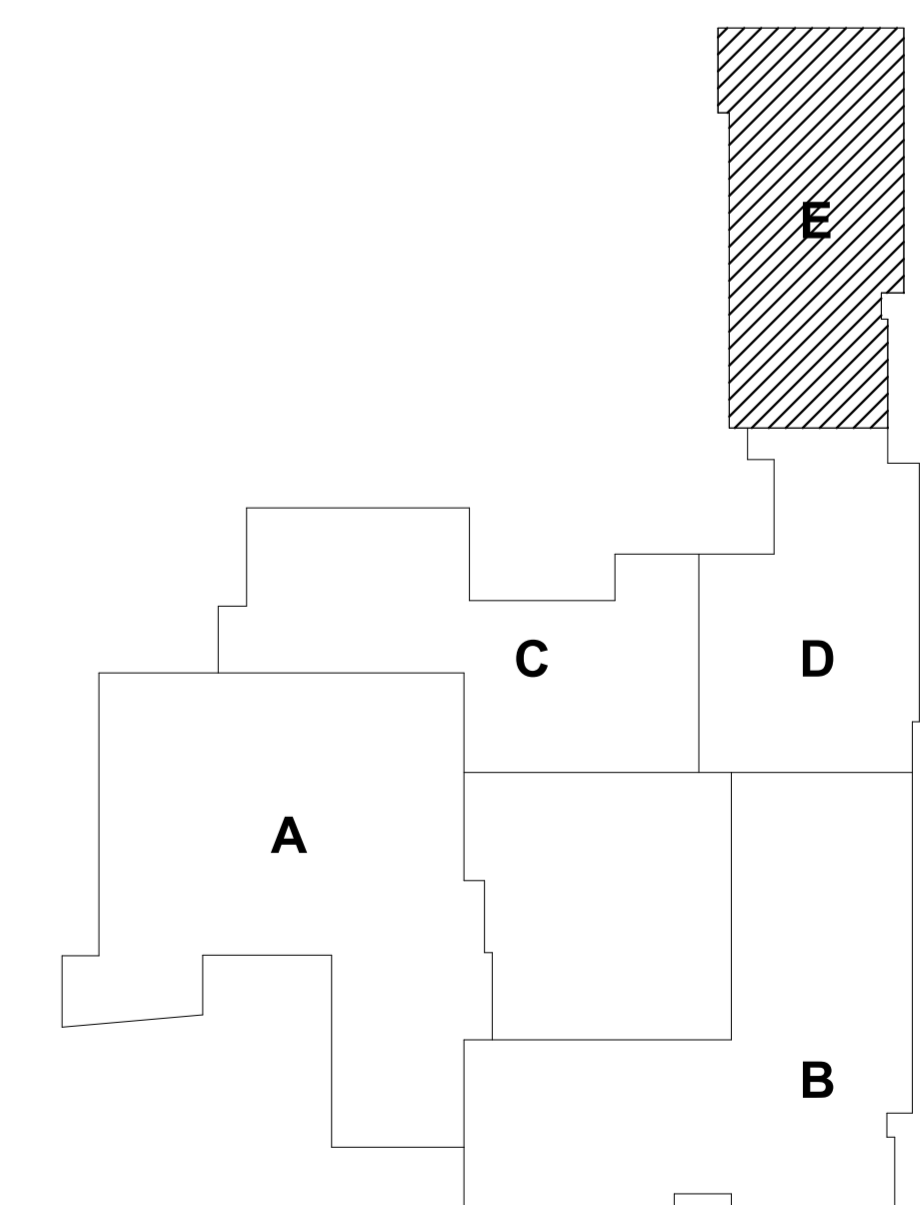


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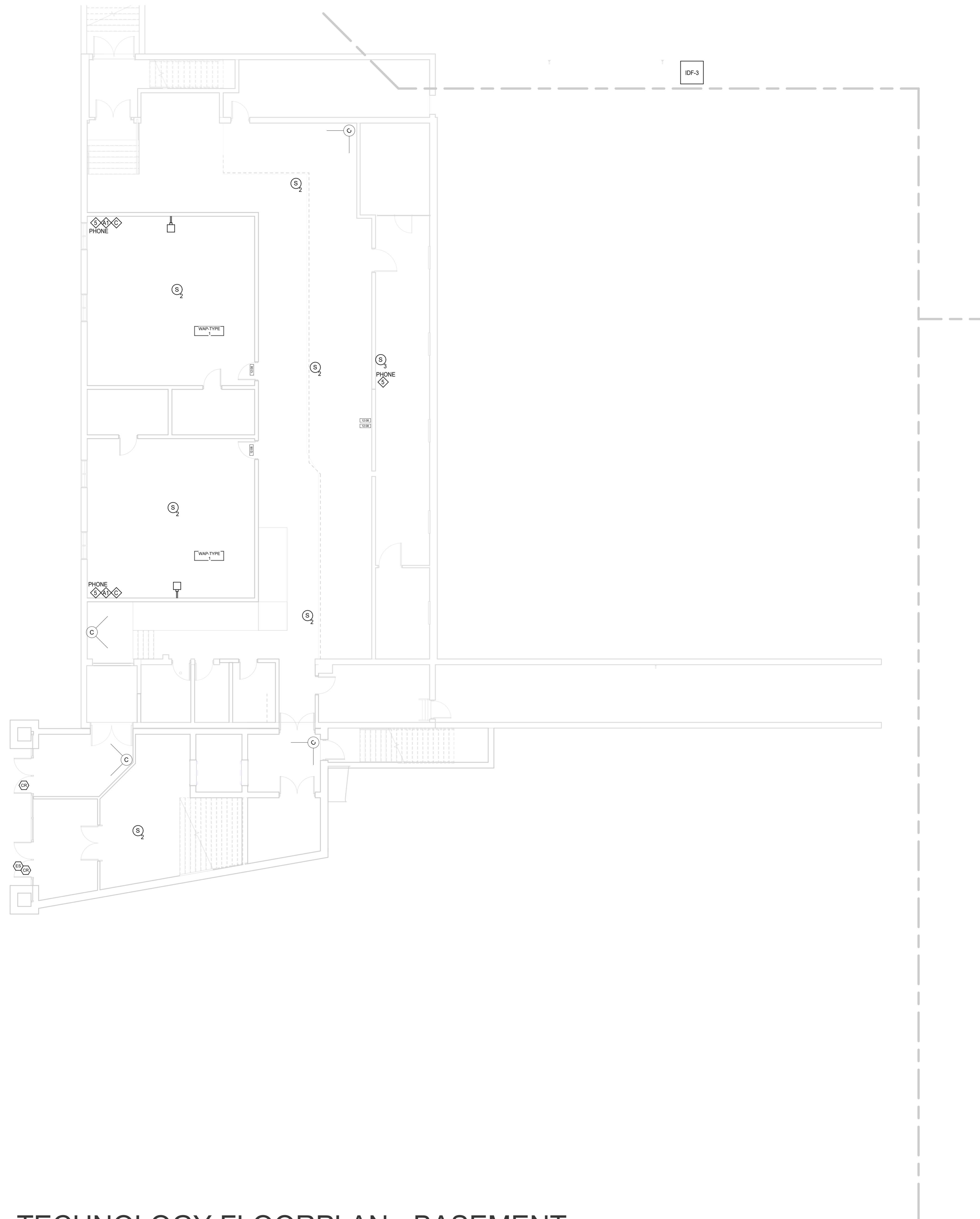


TD206 - SCHEMATIC DESIGN - TECHNOLOGY DEMO FLOORPLAN - AREA E

GRAND RAPIDS PUBLIC SCHOOLS RIVERSIDE MONTESSORI

27-JAN-2025



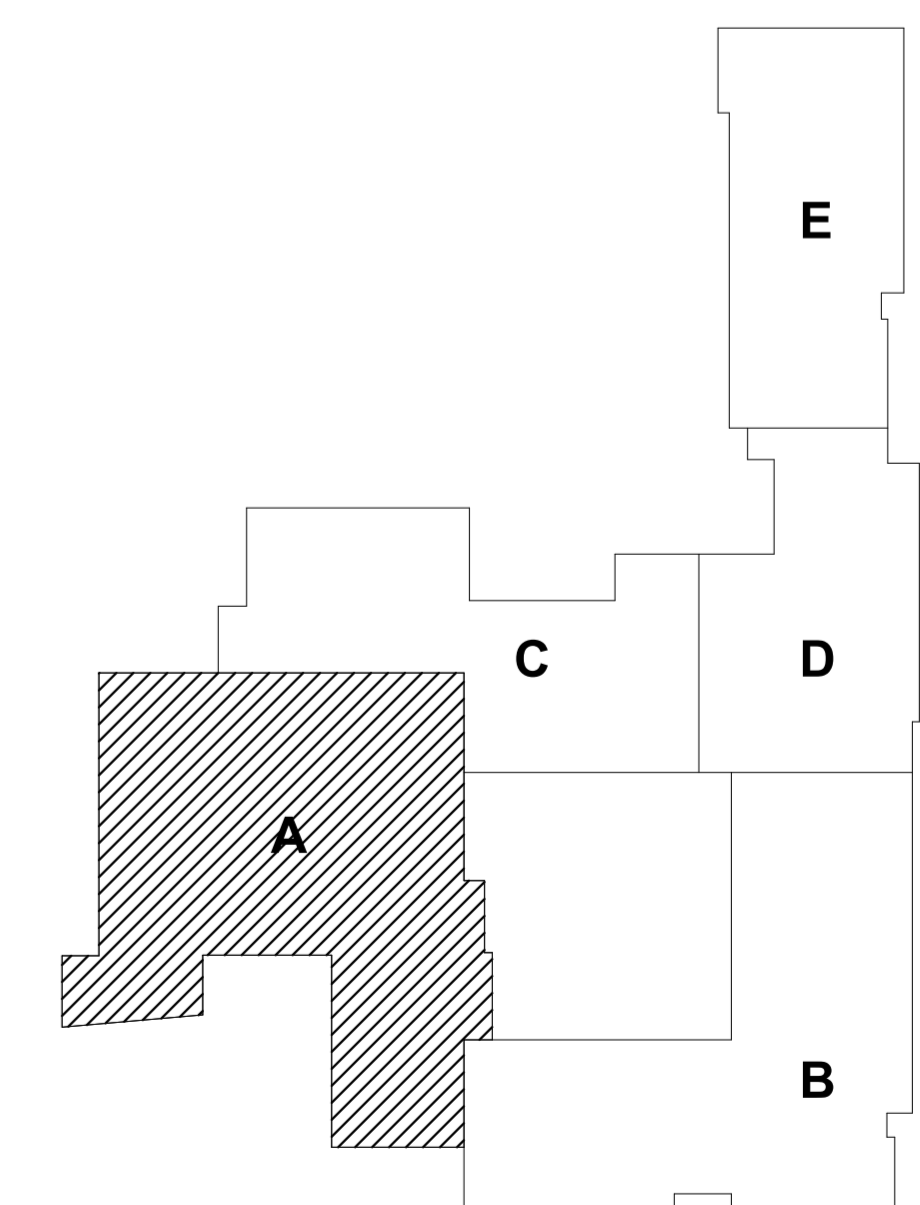


GENERAL CABLING NOTES

1. COMMUNICATIONS CONTRACTOR SHALL INSTALL ANY PASS-THRU'S REQUIRED FOR ROUTING CABLES AROUND THE BUILDING THAT ARE NOT SHOWN AS BEING INSTALLED AS PART OF THE 'TR' SERIES DRAWINGS. SEE ATTACHED.
2. CONTRACTOR SHALL COMPLETE A WALK-THRU OF THE SITE DURING CONSTRUCTION AND SHALL VERIFY ALL CONDUITS AND PASS THRU'S ARE INSTALLED FOR CABLES.
3. ALL CABLES SHALL BE SUPPORTED ABOVE THE DROP CEILING BY J-HOOKS. HOOKS SHALL BE LOCATED NO LESS THAN EVERY 6 FEET.

KEYED CABLING NOTES

- ① xxxx
- ② xxxx



TC201 - SCHEMATIC DESIGN - TECHNOLOGY FLOORPLAN - BASEMENT

GRAND RAPIDS PUBLIC SCHOOLS RIVERSIDE MONTESSORI

27-JAN-2025



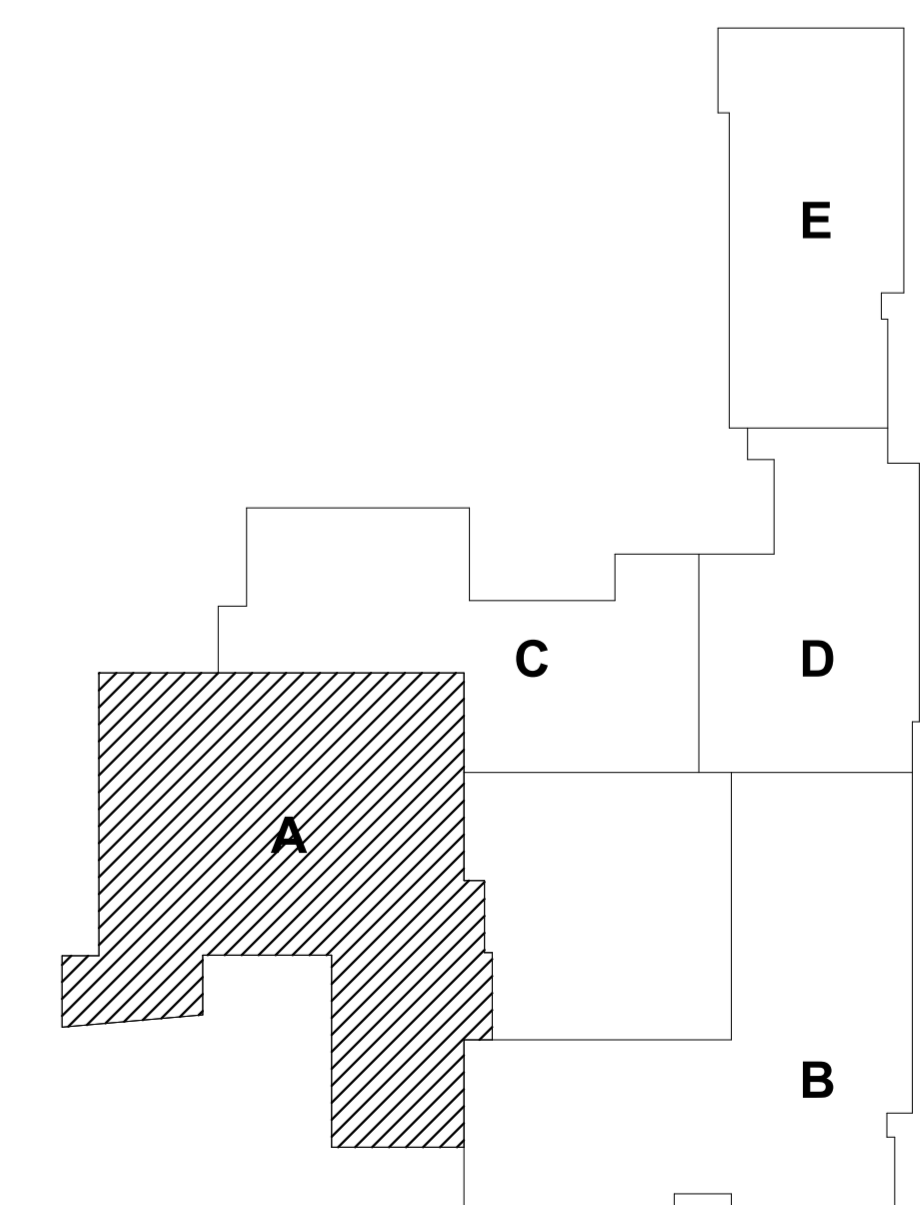


GENERAL CABLING NOTES

1. COMMUNICATIONS CONTRACTOR SHALL INSTALL ANY PASS-THRU'S REQUIRED FOR ROUTING CABLES AROUND THE BUILDING THAT ARE NOT SHOWN AS BEING INSTALLED AS PART OF THE "TR" SERIES DRAWINGS. SEE ATTACHED.
2. CONTRACTOR SHALL COMPLETE A WALK-THRU OF THE SITE DURING CONSTRUCTION AND SHALL VERIFY ALL CONDUITS AND PASS THRU'S ARE INSTALLED FOR CABLES.
3. ALL CABLES SHALL BE SUPPORTED ABOVE THE DROP CEILING BY J-HOOKS. HOOKS SHALL BE LOCATED NO LESS THAN EVERY 5 FEET.

KEYED CABLING NOTES

- ① XXXX
- ② XXXX



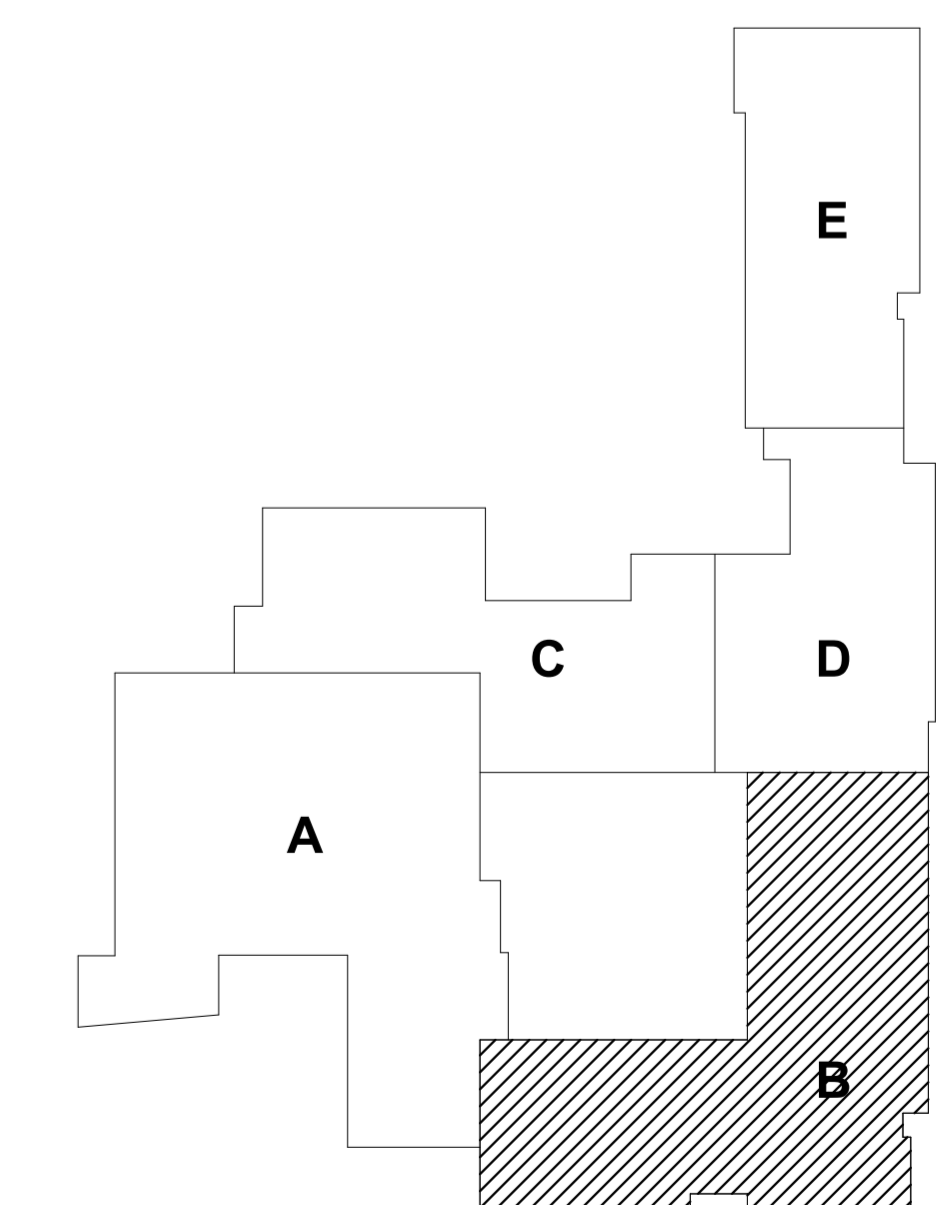


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KEYED CABLING NOTES

- ① XXXX
- ② XXXX



TC203 - SCHEMATIC DESIGN - TECHNOLOGY FLOORPLAN - AREA B

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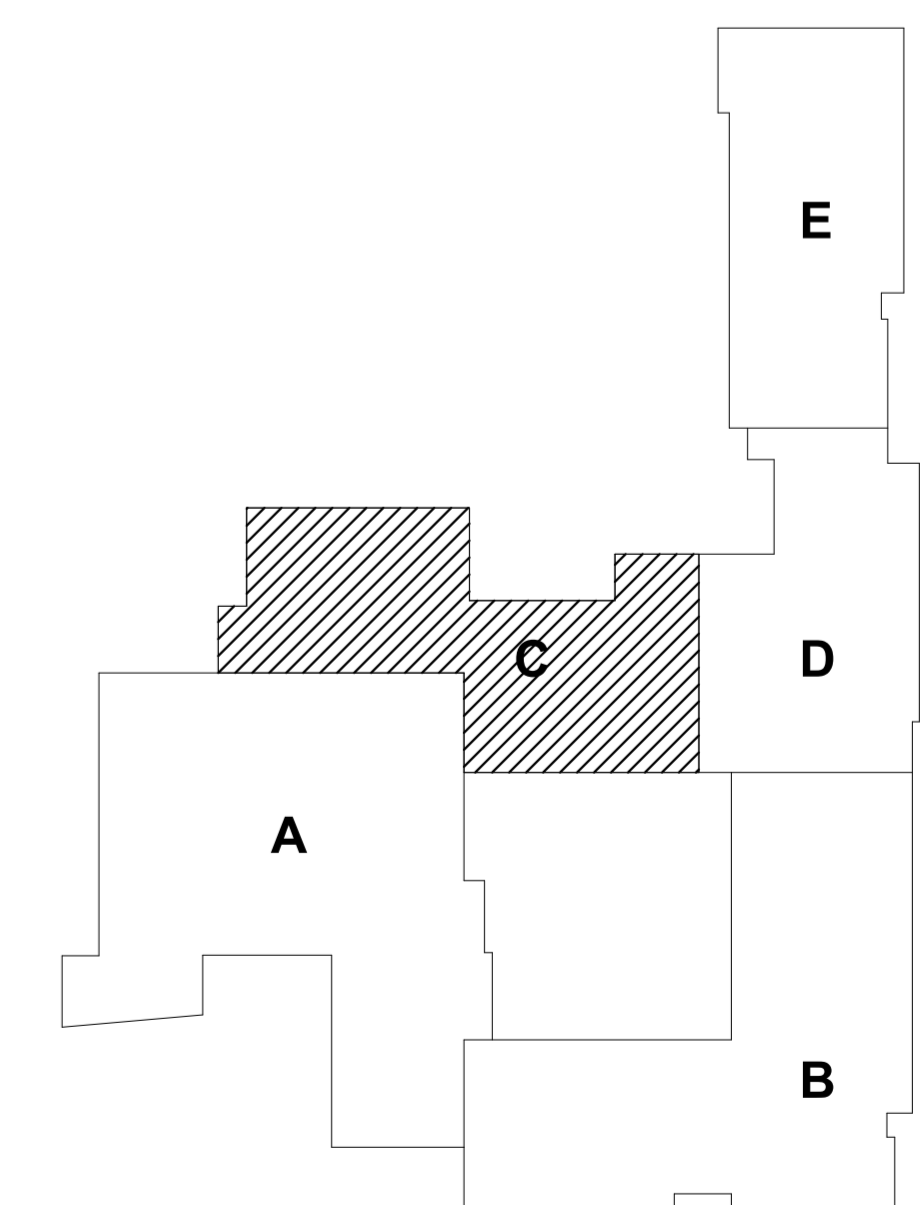
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KEYED CABLING NOTES

① xxxx

② xxxx



TC204 - SCHEMATIC DESIGN - TECHNOLOGY FLOORPLAN - AREA C

GRAND RAPIDS PUBLIC SCHOOLS RIVERSIDE MONTESSORI

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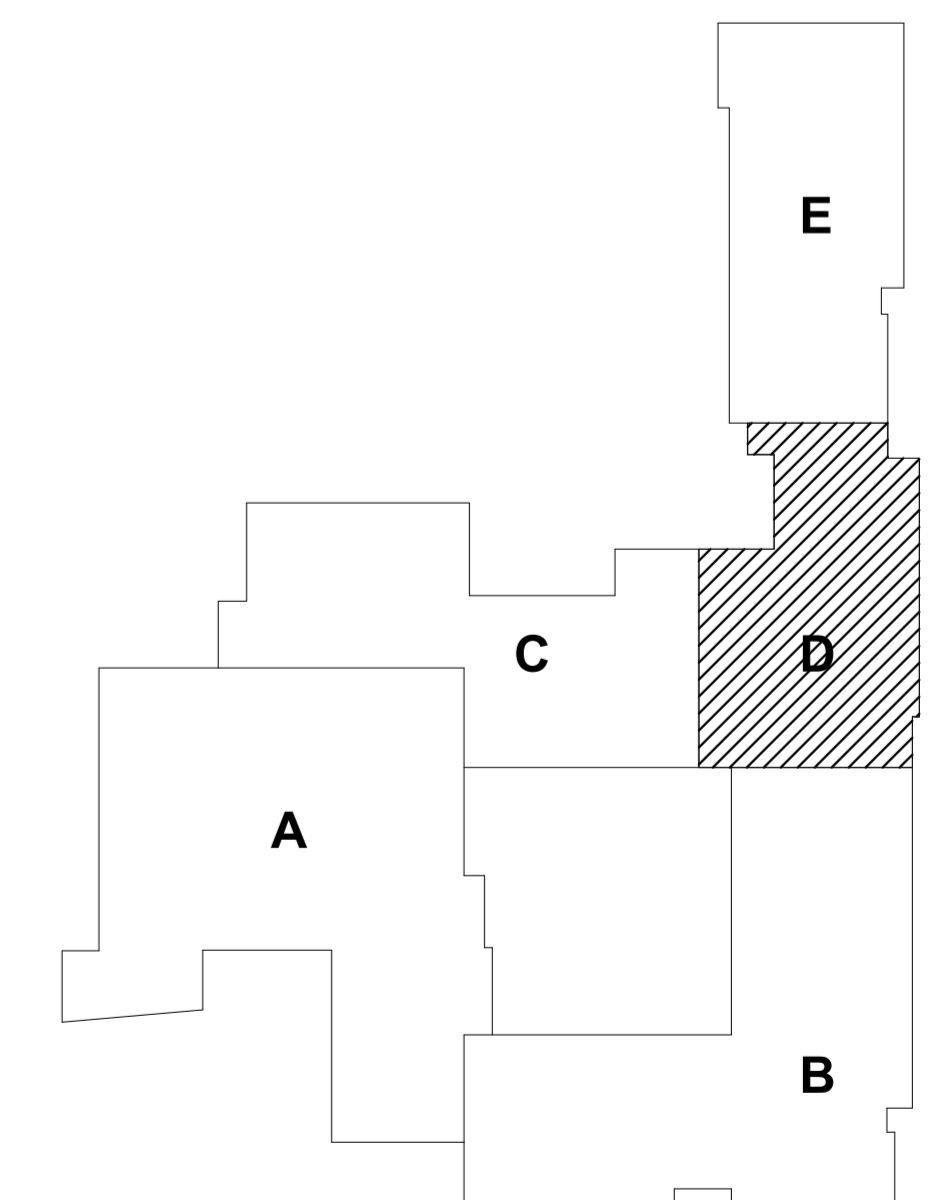
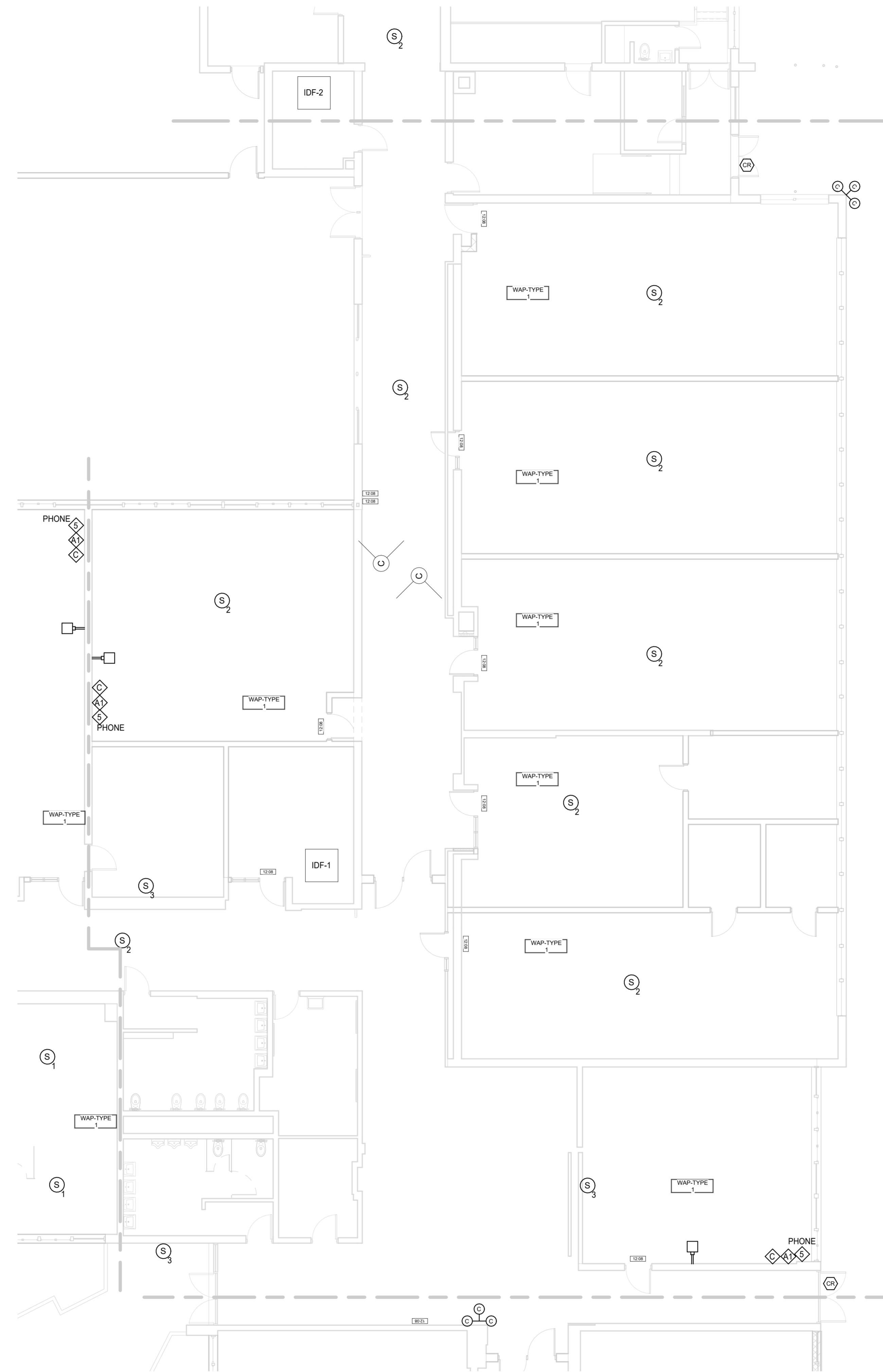
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KEYED CABLING NOTES

① xxxx

② xxxx



TC205 - SCHEMATIC DESIGN - TECHNOLOGY FLOORPLAN - AREA D

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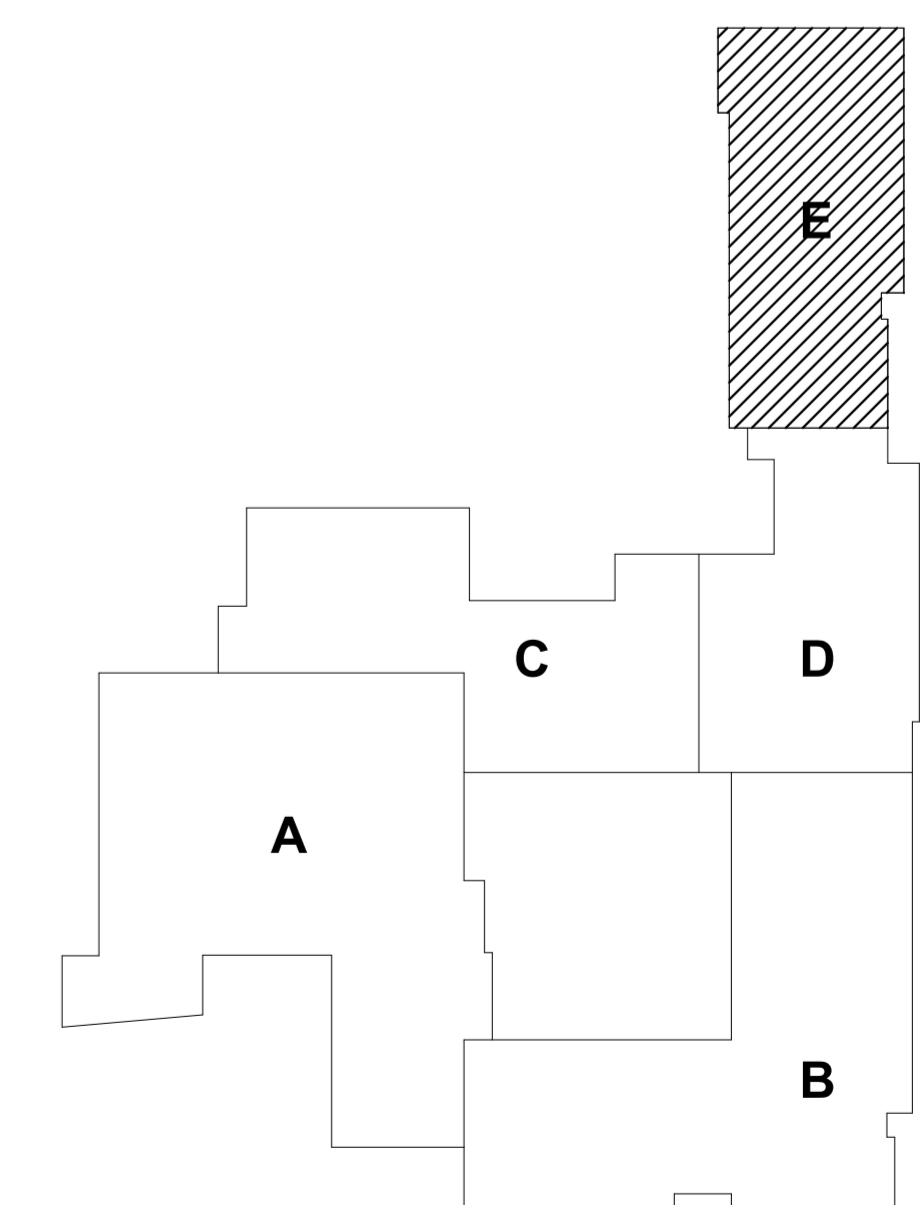


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KEYED CABLING NOTES

- 1) XXXX
- 2) XXXX



TC206 - SCHEMATIC DESIGN - TECHNOLOGY FLOORPLAN - AREA E

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